

# Agenda Attachments

SEPTEMBER 2024

**COUNCIL MINUTES - 20 AUGUST 2024** ATTACHMENT 7.1.1 -

ATTACHMENT 7.2.1 -**LOCAL EMERGENCY MANAGEMENT COMMITTEE MINUTES - 9 SEPTEMBER 2024** 

ATTACHMENT 8.1.1 -**ACCOUNTS FOR PAYMENT – AUGUST 2024** 

ATTACHMENT 8.1.2 -MONTHLY FINANCIAL REPORT FOR PERIOD ENDING 31 AUGUST 2024

ATTACHMENT 8.2.2 - AGENDA – WALGA AGM 2024

ATTACHMENT 8.2.3.1 - CBH DEVELOPMENT APPLICATION

ATTACHMENT 8.2.3.2 - DPIRD RESPONSE - CBH DEVELOPMENT APPLICATION

ATTACHMENT 8.2.3.3 - DWER - CBH DEVELOPMENT APPLICATION



# MINUTES

ORDINARY COUNCIL MEETING

20 August 2024

The Ordinary Council Meeting for the Shire of Corrigin held on Tuesday 20 August 2024 in the Council Chambers, 9 Lynch Street, Corrigin commencing at 3.00pm.

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#### 1 DECLARATION OF OPENING

The Chairperson, President Cr. D Hickey opened the meeting at 3:00pm and acknowledged the Noongar people as the traditional custodians of the land and paid his respects to their elders past and present as well as the pioneering families who shaped the Corrigin area into the thriving community we enjoy today.

Councillors and staff were advised that the Council meeting was being recorded for future publication.

#### 2 ATTENDANCE/APOLOGIES/LEAVE OF ABSENCE

Shire President Cr. D L Hickey
Deputy President Cr. S L Jacobs
Cr. B Fare

Cr. M B Dickinson Cr. M R Leach

Chief Executive Officer

N A Manton
Executive Support Officer

J M Filinski

**APOLOGIES** 

Cr. B E Filinski
Deputy Chief Executive Officer

K A Caley

**LEAVE OF ABSENCE**Cr. M A Weguelin

#### 3 PUBLIC QUESTION TIME

NIL

#### 4 MEMORIALS

The Shire has been advised that Judy Fenton and Beverley Pridham have passed away since the last meeting.

#### 5 PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS

NIL

## **6 DECLARATIONS OF INTEREST**

NIL

#### 7 CONFIRMATION OF MINUTES

#### 7.1 PREVIOUS COUNCIL MEETING

#### 7.1.1 ORDINARY COUNCIL MEETING

Minutes of the Shire of Corrigin Ordinary Council meeting held on Tuesday 16 July 2024 (Attachment 7.1.1).

#### **COUNCIL RESOLUTION**

73/2024 Moved: Cr. Jacobs Seconded: Cr. Leach

That the Minutes of the Shire of Corrigin Ordinary Council meeting held on Tuesday 16 July 2024 (Attachment 7.1.1) be confirmed as a true and correct record.

Carried 5/0

For: Cr. Hickey, Cr. Jacobs, Cr. Dickinson, Cr. Fare and Cr. Leach Against:

#### 8 MATTERS REQUIRING A COUNCIL DECISION

#### **8.1 CORPORATE AND COMMUNITY SERVICES**

#### 8.1.1 ACCOUNTS FOR PAYMENT

Applicant: Shire of Corrigin Date: 14/08/2024

Reporting Officer: Karen Wilkinson, Senior Finance Officer

Disclosure of Interest: NIL File Ref: FM.0036

Attachment Ref: Attachment 8.1.1 – Accounts for Payment – July 2024

#### **SUMMARY**

Council is requested to note the payments from the Municipal and Trust funds as presented in the Schedule of Accounts Paid for the Month of July 2024.

#### **BACKGROUND**

This information is provided to Council monthly in accordance with provisions of the Local Government Act 1995 Section 6.8 (2)(b) and Local Government (Financial Management) Regulations 1996 Clause 13.

Accountability in local government can be multifaceted, as councils seek to achieve diverse social, political, and financial goals for the community benefit. The accountability principles of local government are based on strong financial probity, financial propriety, adherence to conflict of interest principles and expectations that local government is fully accountable for community resources.

All payments are independently assessed by the Deputy Chief Executive Officer, to confirm that all expenditure that has been incurred, is for the Shire of Corrigin and has been made in accordance with Council policy, procedures, the *Local Government Act 1995* and associated regulations. The review by the Deputy Chief Executive Officer also ensures that there has been no misuse of any corporate credit or fuel purchase cards.

#### COMMENT

Council has delegated authority to the Chief Executive Officer to make payments from the Shire's Municipal and Trust funds as required. A list of all payments is to be presented to Council each month and be recorded in the minutes of the meeting at which the list was presented.

#### STATUTORY ENVIRONMENT

S6.4 Local Government Act 1995, Part 6 – Financial Management R34 Local Government (Financial Management) Regulations 1996

#### **POLICY IMPLICATIONS**

Policy 2.7 – Purchasing Policy Policy 2.16 - Corporate Credit Cards

#### FINANCIAL IMPLICATIONS

Expenditure in accordance with the 2023/2024 Annual Budget.

#### **COMMUNITY AND STRATEGIC OBJECTIVES**

Shire of Corrigin Strategic Community Plan 2021-2031 and Corporate Business Plan 2021-2025:

Objective: Governance and Leadership Strong Governance and leadership

Strategic Community Plan		Corporate Business Plan			
Outcome Strategies		Action No.	Actions		
4.4	Provide informed and transparent decision making that, meets our legal obligations, and the needs of	4.4.3	Regular reviews of Council's Long Term Financial Plan to ensure the long term financial stability of the Shire		
	our diverse community	4.4.4	Provide Council adequate and appropriate financial information on a timely basis		

#### **VOTING REQUIREMENT**

Simple Majority

#### **COUNCIL RESOLUTION**

74/2024 Moved: Cr. Dickinson Seconded: Cr. Fare

That Council receives the list of accounts paid during the month of July 2024 as per the attached Schedule of Payment, and as summarised below:

#### Municipal Account (inclusive of credit card and fuel card purchases)

Cheque Payments	020988 - 020988	\$20,084.52
EFT Payments	EFT20262 - EFT20318	\$410,889.27
Direct Debit Payments		\$45,097.17
EFT Payroll Payments		\$137,655.40
Total Municipal Account Payme	ents	\$613,726.36
Trust Account		
EFT Payments	EFT20319-EFT20320	\$42.40
<b>Total Trust Account Payments</b>		\$42.40
Licensing Trust Account		
Direct Debit Payments	)	\$47,688.24
<b>Total Licensing Trust Account</b>	Payments	\$47,688.24
Total of all Accounts		\$661,457.00

For: Cr. Hickey, Cr. Jacobs, Cr. Dickinson, Cr. Fare and Cr. Leach Against:

Carried 5/0

#### 8.1.2 MONTHLY FINANCIAL REPORT

Applicant: Shire of Corrigin Date: 15/08/2024

Reporting Officer: Kylie Caley, Deputy Chief Executive Officer

Disclosure of Interest: NIL File Number: FM.0037

Attachment Ref: Attachment 8.1.2 – Monthly Financial Report for the period ending 31 July

2024

#### SUMMARY

This report provides Council with the monthly financial report for the month ending 31 July 2024.

#### **BACKGROUND**

The Local Government (Financial Management) Regulations 1996, regulation 34 states that a local government must prepare each month a statement of financial activity reporting on the revenue and expenditure, as set out in the annual budget.

Variances between budgeted and actual expenditure including the required material variances (10% with a minimum value of \$10,000) are included in the variance report.

#### COMMENT

Item	Reference
Cash at Bank	
The total cash as at 31 July 2024 was \$8,682,680. This	
is comprised of \$717,681 municipal funds (Municipal	Page 9 – Cash and Financial Assets
Bank Account and various till floats), \$1,537,162 in short term investment and \$6,427,837 in reserve funds.	Page 10 Pagenya Accounts
term investment and \$6,427,637 in reserve funds.	Page 10 – Reserve Accounts
Capital Acquisitions	
The capital budget expenditure is showing as approximately 0% complete as at the 31 July 2024. This is due to projects not yet commencing following the	Page 11 – Capital Acquisitions
budget adoption.	Page 12 – Capital Acquisitions Continued
	Page 13 – Disposal of Assets
Receivables	
Rates outstanding is \$3,302,397, 5% of rates have been collected for the year compared to 0% in July 2023.	Page 14 – Receivables
Current receivables of \$120,307.	

Further information on the June financial position is in the explanation of material variances included in the monthly financial report.

#### STATUTORY ENVIRONMENT

- s. 6.4 Local Government Act 1995, Part 6 Financial Management
- r. 34 Local Government (Financial Management) Regulations 1996
- r. 35 Local Government (Financial Management) Regulations 1996

#### **POLICY IMPLICATIONS**

NIL

#### FINANCIAL IMPLICATIONS

Expenditure in accordance with the 2024/2025 Annual Budget.

#### **COMMUNITY AND STRATEGIC OBJECTIVES**

Shire of Corrigin Strategic Community Plan 2021-2031 and Corporate Business Plan 2021-2025:

Objective: Governance and Leadership Strong Governance and Leadership

Strategic Community Plan		Corporate Business Plan		
Outcome Strategies		Action No.	Actions	
4.4	Provide informed and transparent decision making that, meets our legal obligations, and the needs of our diverse community	4.4.3	Regular reviews of Council's Long Term Financial Plan to ensure the long term financial stability of the Shire	
		4.4.4	Provide Council adequate and appropriate financial information on a timely basis	

#### **VOTING REQUIREMENT**

Simple Majority

# COUNCIL RESOLUTION 75/2024 Moved: Cr. Leach

That Council accepts the Statement of Financial Activity for the month ending 31 July 2024 as presented, along with notes of any material variances.

Carried 5/0

Seconded: Cr. Jacobs

For: Cr. Hickey, Cr. Jacobs, Cr. Dickinson, Cr. Fare and Cr. Leach Against:

#### **8.2 GOVERNANCE AND COMPLIANCE**

#### 8.2.1 DUAL FIRE CONTROL OFFICERS 2024/25

Applicant: Shire of Pingelly and Shire of Brookton

Date: 12/08/2024

Reporting Officer: Jarrad Filinski, Executive Support Officer

Disclosure of Interest: NIL File Ref: ES.0001

Attachment Ref: Attachment 8.2.1.1 - Appointment letter of Dual Fire Control Officers

Pingelly 2024/2025

Attachment 8.2.1.2 – Appointment letter of Dual Fire Control Officers

Brookton 2024/2025

#### **SUMMARY**

The Shire of Pingelly and the Shire of Brookton have requested that the Shire of Corrigin appoint Dual Fire Control Officers for the 2024/2025 bush fire season.

#### **BACKGROUND**

The Shire of Corrigin has received correspondence from the Shire of Pingelly requesting the following people be appointed as Dual Fire Control Officers in the Shire of Corrigin for the 2024/2025 bush fire season:

- Rodney Leonard Shaddick
- Brodie Cunningham
- Jeffrey Bernard Edwards
- Robert John Lee
- Sam MacNamara

The Shire of Corrigin has received correspondence from the Shire of Brookton requesting the following people be appointed as Dual Fire Control Officers in the Shire of Corrigin for the 2024/2025 bush fire season:

- Bevan Walters
- Darrell Turner

#### COMMENT

Fire Control Officers who adjoin neighbouring shires require the adjoining shires endorsement to act as a Dual Fire Control Officers.

#### STATUTORY ENVIRONMENT

Bush Fires Act 1954

#### **POLICY IMPLICATIONS**

NIL

#### FINANCIAL IMPLICATIONS

NIL

#### **COMMUNITY AND STRATEGIC OBJECTIVES**

Shire of Corrigin Strategic Community Plan 2021-2031 and Corporate Business Plan 2021-2025:

**Objective: Social** 

An effectively serviced, inclusive and resilient community

Strategic Community Plan		Corporate Business Plan		
Outcome	Strategies	Action No.	Actions	
1.5	Support emergency services planning, risk mitigation, response and recovery	1.5.1	Joint planning with stakeholders at a local and sub regional level for disaster preparedness and emergency response	
		1.5.2	Scenario planning and training	

#### **VOTING REQUIREMENT**

Simple Majority

#### **COUNCIL RESOLUTION**

76/2024 Moved: Cr. Dickinson Seconded: Cr. Fare

That Council appoint the following Dual Fire Control Officers in the Shire of Corrigin for the 2024/2025 bush fire season, subject to the officers obtaining the appropriate accreditation, further noting that Dual Fire Control Officers are not permitted to issue burning permits within the Shire of Corrigin:

#### Shire of Pingelly:

- Rodney Leonard Shaddick
- Brodie Cunningham
- Jeffrey Bernard Edwards
- Robert John Lee
- Sam MacNamara

#### Shire of Brookton:

- Bevan Walters
- Darrell Turner

Carried 5/0

For: Cr. Hickey, Cr. Jacobs, Cr. Dickinson, Cr. Fare and Cr. Leach Against:

#### 8.3 WORKS AND SERVICES

#### 9 CHIEF EXECUTIVE OFFICER REPORT

The CEO Natalie Manton thanked Peter Clarke for serving as Acting CEO during her three-week annual leave. She was pleased to return to a well-managed office with tasks completed and few new issues. Ms Manton also thanked the Shire team for their support and assistance to Peter during his time in Corrigin.

#### 10 PRESIDENT'S REPORT

The President Cr. D Hickey thanked Ms Kylie Caley for her work at the Shire of Corrigin and noted that the CEO would soon be advertising the Deputy Chief Executive Officer position following the Ms Caley's move to another Shire.

#### 11 COUNCILLORS' QUESTIONS, REPORTS AND INFORMATION ITEMS

Cr. S Jacobs attended the recent Roe Tourism meeting in Corrigin. It is pleasing to see that the Corrigin Community Resource Centre (CRC) has a map of current wildflowers, which is regularly updated. The CRC will also invest in banners to guide the community and tourists seeking assistance.

Cr. M Leach also attended the meeting and encouraged elected members and staff to actively sharing Pathway to Wave Rock tourism information on social media. She noted that individuals sharing posts is increasing their visibility and that reels and videos generate the most engagement.

Cr. S Jacobs recently attended the Central Country Zone meeting at the Wagin Golf Club. The Shire of Wagin President welcomed delegates to Wagin and focused his welcoming address on the value of volunteers to the Wagin community. The discussion highlighted the growing challenge of attracting volunteers due to accreditation requirements like courses and working with children's cards, which demand additional time and financial investment from those who wish to support their community.

# 12 URGENT BUSINESS APPROVED BY THE PRESIDENT OR DECIDED BY THE COUNCIL

#### 13 INFORMATION BULLETIN

#### 14 WALGA AND CENTRAL ZONE MOTIONS

#### 15 NEXT MEETING

Ordinary Council Meeting on 17 September 2024.

#### 16 MEETING CLOSURE

The President Cr. D Hickey closed the meeting at 3:20pm and thanked everyone for their attendance.





LOCAL EMERGENCY MANAGEMENT COMMITTEE MEETING

9 September 2024 at 1:00pm

Venue: Council Chambers, 9 Lynch Street, Corrigin

### Terms of Reference

#### 1.0 NAME

The Committee shall be known as the Corrigin Local Emergency Management Committee (LEMC).

#### 2.0 ROLE OF THE COMMITTEE

To assist the Local Emergency Coordinators to develop and maintain effective emergency management arrangements for the Shire of Corrigin.

#### 3.0 OBJECTIVES OF THE COMMITTEE

- To advise and assist the Shire of Corrigin in ensuring that local emergency management arrangements are established for its district.
- To liaise with public authorities and other persons in the development, review and testing of local emergency management arrangements.
- To assist with the preparation and approval of the Corrigin Local Emergency Management Plan and submit such plans to the Office of Emergency Management (OEM) for approval.
- To review at least annually the Corrigin Local Emergency Management Plan.
- To assist in the preparation of emergency management operating procedures for application in the Shire of Corrigin.
- To ensure appropriate testing and exercising of the local emergency management plan.
- To prepare an annual report of the activities of the LEMC for submission to the OEM.
- To provide assistance to the Local Emergency Coordinators and Hazard Management Agencies during emergency management operations.
- To carry out such other emergency management functions as directed by OEM.

#### 4.0 MEMBERSHIP

The Council appoints to the Committee those ex-officio representatives whose titles appear below. Membership of the Committee shall, unless otherwise specified, be for a term ceasing at the date of the Local Government election in the year the Shire's local government elections are held, after which time the Council may appoint members for a further term.

Membership of the Committee shall be:

- The President of the Shire of Corrigin
- Deputy Shire President
- The Officer in Charge of the Corrigin Police District or delegate(s)
- The Shire's Chief Bush Fire Control Officer
- The SES Area Manager or delegate
- The Chairperson of St John Ambulance Corrigin or delegate
- A health representative from the Corrigin Hospital
- An officer from the Department of Communities
- Representatives from other agencies as required

#### 5.0 PRESIDING MEMBER

The President takes the role of Presiding Member. The members of the Committee shall elect a Deputy Presiding Member to chair in the absence of the Presiding Member at the first meeting after the local government election to satisfy the requirements of the Local Government Act.

The Presiding Member shall ensure that minutes of the proceedings are kept and that business is conducted in accordance with the Shire of Corrigin Standing Orders.

The minutes of the advisory committee are to be submitted to the next ordinary meeting of the committee for confirmation. The person presiding at the meeting at which the minutes are confirmed is to sign the minutes and certify the confirmation.

The Local Government Act 1995 places responsibility for speaking on behalf of Council with the President, or the CEO if the President agrees. The Presiding Member, if not the Shire President, as well as individual members of the Committee are to refrain from speaking publicly on behalf of the committee or Council, or to issue any form of written material purporting to speak on behalf of the committee or Council without the prior approval of the Shire President.

#### 6.0 CONDUCT OF MEETINGS

Ordinary meetings of the Committee shall be held on a day as determined by the Presiding Member generally in February, May, August and November each year. Written notice shall be given to all Committee members, at least 14 days prior to the meeting. Special meetings of the Committee may be convened:

- by the Presiding Member
- by written notice to all committee members, such notice being signed by at least four members of the Committee, giving not less than seven days notice and stating purpose of the meeting.
- by the Council

The time and venue of meetings will be determined by the Presiding Member or the Council having due regard to the general convenience of the Committee members. Each meeting of the LEMC should consider, but not be restricted to, the following matters, as appropriate:

#### **Every meeting:**

- Confirmation of local emergency management arrangements contacts details and key holders;
- Review of any post-incident reports and post exercise reports generated since last meeting;
- · Progress of emergency risk management process;
- Progress of treatment strategies arising from emergency risk management process;
- Progress of development or review of local emergency management arrangements; and
- Other matters determined by the local government.

#### First quarter:

- Development and approval of next financial year LEMC exercise schedule (to be forwarded to relevant DEMC);
- Begin developing annual business plan.

#### Second quarter:

- Preparation of LEMC annual report (to be forwarded to relevant DEMC for inclusion in the SEMC annual report);
- Finalisation and approval of annual business plan.

#### Third quarter:

• Identify emergency management projects for possible grant funding.

#### Fourth quarter:

• National and State funding nominations.

The Committee is established by the Council of the Shire of Corrigin under the powers and given in section 5.8 of the Local Government Act 1995. Notice of meetings, quorum requirements of 50% of members and all other matters pertaining to the conduct of the committee shall be carried out in accordance with the Local Government Act 1995.

#### 7.0 DELEGATED POWERS

The Committee has no delegated powers and is an advisory committee to Council only. Recommendations of committee meetings are to be presented to Council by staff for noting or for consideration as soon as practicable after unconfirmed minutes of Committee meetings are available.

#### 1. DECLARATION OF OPENING

The Chairperson, Cr Des Hickey opened the meeting at 1:01pm.

#### 2. ATTENDANCE/APOLOGIES

**Shire President** Cr. D Hickey Chief Executive Officer N Manton **Executive Support Officer** J Filinski Corrigin St John Ambulance Chair B Hill Department Fire and Emergency Services -Area Officer A Whitford Corrigin Volunteer Fire and Rescue (VFRS) Captain T Di Fulvio Chief Bush Fire Control Officer G Evans Corrigin Hospital Director of Nursing/HSM, E McIntosh Corrigin Police, Officer in Charge S Hickman

Department of Communities Regional Coordinator M Phillips (1:07pm)

#### **APOLOGIES**

Deputy President Cr. S Jacobs
Community Emergency Services Manager (CESM)
DFES District Emergency Management Advisor
Corrigin District High School Principal

Cr. S Jacobs
J Carrall
C Powis
S Hardingham

#### 3. MINUTES OF PREVIOUS MEETING

Moved: S Hickman Seconded: T Di Fulvio

Minutes of the Local Emergency Management Committee Meeting held on 14 May 2024 (Attachment 3.1)

Carried

#### 4. REVIEW OF LEMC DOCUMENTS

Committee to advise of any changes to any known contact details via email to eso@corrigin.wa.gov.au.

- Local Emergency Management Arrangements (Attachment 4.1)
- Local Emergency Evacuation Plan (Attachment 4.2)
- Local Emergency Recovery Plan (Attachment 4.3)

#### Minor amendments and additions

- Cr Hickey no landline -mobile phone only
- St John Ambulance and hospital have satellite phones.
- St John have WAERN radio and 5 mobile phones
- Community paramedic mobile number

#### 5. REVIEW OF INCIDENTS AND EXERCISES

#### 5.1. INCIDENTS

- 19 May 2024 Electrical Equipment (hit power pole) Fire Schultz Road
- 22 May 2024 Fire Lomos South Road, 2km South of Bullaring Pingelly Road
- 2 June 2024 Nornakin East Road house fire
- 22 May 2024 Structure fire at the Hotel

#### 5.2. HAZARD REDUCTION BURNS

Green Waste Tip burnt on Sunday 28 July 2024 to reduce bulky material before fire season. To be burnt again before restricted period.

Further burning due to take place prior to October.

Weeds need to be sprayed around the perimeter.

#### **5.3. DESKTOP EXERCISE**

Desktop exercise on communication was completed.

#### **5.4. POST EXERCISE REPORTS**

#### 6. DEVELOPMENT OF FUTURE EXERCISES

Department of Communities –joint exercise was held in Brookton (microburst) in June. Due to a miscommunication Corrigin staff did not attend

#### Future exercises

DFES Upper Great Southern annual bushfire exercise to test Incident Management Team (IMT) capability and readiness prior to the high threat period that was planned for 27 August 2024 was postponed. Date in October to be confirmed.

#### 7. REPORTS TO STATE EMERGENCY MANAGEMENT COMMITTEE

Annual report submitted to DFES on 5 August 2024 (Attachment 7.1)

#### 8. IDENTIFY EMERGENCY MANAGEMENT PROJECTS

Discussion of responding to electric vehicle or appliance fire. Electric vehicle fires are considered too dangerous to fight and best practise is to:

- secure the area as best as possible and let it burn.
- Protect people, keep out of smoke
- Stay clear of spitting hot metal
- Avoid inhalation of smoke or poisonous gases.

#### 9. OTHER MATTERS

#### 9.1.1.TELSTRA 3G

Telstra has advised that the 3G closure will be extended to allow Telstra customers to make relevant changes. Devices using the 3G network will need to be updated or replaced by 28 October 2024.

Telstra has provided the following advice to customers.

Your device must support VoLTE voice calling to make voice calls, and support VoLTE emergency calling to make an emergency calls to emergency services such as an emergency call to 000 (triple zero).

- If you have a device that can only use 3G, you won't be able to connect to Telstra's network after 28 October 2024.
- If your mobile device doesn't have Voice over LTE (VoLTE) technology, even if it uses 4G data, it will not be able to make voice calls on our network after 28 October 2024.
- Not all VoLTE enabled devices support emergency VoLTE calling, meaning they will not be able to make an emergency call, including calls to 000 (triple zero) once 3G closes.
- If we contacted you about this, your device is affected. Without taking the recommended action you won't be able to connect to a network after 28 October 2024.

Some phones can't use the full 4G network on Australia's Band 28 (700Mhz). Because of this, they'll have reduced and intermittent connectivity after our 3G network closes. This may affect some calls to emergency services. It's important to act now, even if you have a newer device.

To check your phone, SMS 3 to 3498.

The CRC have helped approximately 35 people to set up new phones and have attended the Senior Citizens to run a small workshop on the changes.

#### 9.1.2.AUSTRALIAN WARNING SYSTEM:

DFES to provide an update on changes to the Australia Warning System (AWS).

Western Australia has adopted the AWS for consistent emergency warnings. Developed after the 2019/2020 bushfire season, it features three levels (Advice, Watch and Act, Emergency Warning) with corresponding colours and action statements so the community knows how to respond to each level. Awareness campaigns are being used to help communities understand AWS, supported by online training. More information can be provided by contacting DFES Publish Information Branch (statepublicinfo@dfes.wa.gov.au).

Changes can be viewed via the SEMC website

(https://www.wa.gov.au/government/document-collections/emergency-management-plans#state-hazard-plans) as well as a detailed summary of amendments.

# 9.1.3.NATIONAL EMERGENCY MANAGEMENT AGENCY (NEMA) IMPROVED CAPABILITIES:

The NEMA has enhanced its Coordination and Planning Officer (CPO) capability to improve disaster response and recovery efforts. This capability includes 43 permanent and 10 surge positions across all States and Territories, supported by 105 Community Recovery Officers under the Disaster Recovery Funding Arrangements (DRFA). CPOs, stationed in both metropolitan and regional areas, provide vital coordination, planning, and liaison between State, Territory, and Australian Government agencies. They have undergone extensive training in crisis management and strategic planning and are backed by strengthened leadership and a national surge capacity. Following high-risk weather seasons, CPO surge positions are reviewed and de-escalated to a standby status to ensure rapid deployment for future crises.

There is one CPO for regional WA.

Further details provided in Attachment 9.1.3

#### 9.1.4. WALGA EMERGENCY MANAGEMENT SERVICES REPORT 2023:

The 2023 Western Australian Local Government Association (WALGA) Local Government Emergency Management Survey provides insights into the sector's experiences, priorities, and challenges in emergency management. It highlights key concerns such as community preparedness, the effectiveness of recovery management, and the impact of Emergency Management policies and funding. The survey results are crucial for shaping WALGA's policy and advocacy efforts, including its State Budget Submission and preparations for upcoming elections.

Key findings include:

- the need for better resourcing for Local Government Emergency Management,
- improved support for volunteer Bush Fire Brigades and State Emergency Service units, and the need for updated legislation in the Consolidated Emergency Services Act.
- the importance of effective grant management.
- the significant role of Community Emergency Service Managers (CESMs) in enhancing local emergency management capabilities.

Further details provided in Attachment 9.1.4.

#### 10.REPORTS

Reports from LEMC members and stakeholders

#### Department of Communities - Regional Coordinator - M Phillips

Provided LEMC report (attachment 10.1.1)

#### Corrigin Police – S Hickman

- Department of Transport are looking to recruit more vehicle inspectors due to increased truck movements.
- Road safety is a big priority for Police with many road fatalities taking place. The
  Wheatbelt has the highest fatality rate this year followed by the Great Southern
  District with the second highest fatality rate.
- Most incidents are from drivers taking unnecessary risks, road conditions and drivers not driving to the conditions, and fatigue.
- Advertisements will be increasing over the next few months, particularly leading into the Christmas holiday period.

#### Corrigin Volunteer Fire and Rescue – T Di Fulvio

- VFRS have had their Annual General Meeting
- Kelli Hawkins is now managing social media for VFRS.
- High season equipment has been applied for in preparation for the next fire season.

#### St John Ambulance – B Hill

- St John Ambulance radios are still on their way with the intention to have a direct link to Perth by November.
- Volunteers are prepared for a busy couple of events with Hyden event on 21-23
   October and Kulin Bush Races the following weekend.
- B Hill pointed out the airstrip needs to be graded as it is currently quite corrugated.
- Aviation fuel still at the airstrip needs to be removed and the wind sock has stopped turning and may need some lubricant.

#### **Corrigin District Hospital – E McIntosh**

- Two Registered Nurses have come to Corrigin to work at the hospital, with three more on their way hopefully before Christmas.
- Wogerlin House is almost full.

#### Shire of Corrigin - N Manton

- New Bushfire Local Law has been gazetted.
- A meeting was held with FCO's to go over the draft Bushfire Policies and Procedures manual for adoption at the Bush Fire Advisory Committee Meeting
- Airstrip lights will still need to be switched on manually until the new switch is installed in early October.
- Still working on finalising disaster recovery funding claims from the flood in July 2021 and fire in February 2022.
- Fire fighting training was cancelled due to a lack of enrolments. Training will need to be rescheduled to give people another opportunity to complete the training. Some training is now available online.
- Jason Carrall, CESM is on leave for at least the next eight weeks due to illness.
- CEO N Manton has submitted a proposal to allow clearing within a defined clear zone
  without requiring a clearing permit to reduce the number of deaths and injury from
  road accidents involving hitting an object on the road verge.

#### **DFES – District Emergency Management Advisor - C Powis**

Provided LEMC report (attachment 10.1.2)

#### DFES - Area Officer Fire Narrogin West - A Whitford

Provided LEMC report (attachment to be provided with minutes)

#### **11.NEXT MEETING**

The next meeting will be Monday 11 November 2024 at 1:00pm

#### **12.MEETING CLOSURE**

The Chairperson, Cr. Des Hickey closed the meeting at 2:43pm and thanked everyone for their attendance.

# MUNICIPAL ACCOUNT CHEQUE PAYMENTS

CHEQUE #	DATE	NAME	DESCRIPTION	ΑM	10UNT
20989	06/08/2024	WATER CORPORATION OF WA	WATER CHARGES	\$	886.79
20990	09/08/2024	WATER CORPORATION OF WA	TRADE WASTE PERMIT	\$	353.13
			TOTAL CHEOUF PAYMENTS	Ś	1.239.92

#### **EFT PAYMENTS**

EFT#	DATE	NAME	DESCRIPTION	Αľ	MOUNT
EFT20321	09/08/2024	ABCO PRODUCTS PTY LTD	SHARPS CONTAINERS	\$	73.48
EFT20322	09/08/2024	AC ELECTRICS WA	LODGEMENT OF APPLICATION - EV CHARGER	\$	770.00
EFT20323	09/08/2024	APV VALUERS AND ASSET MANAGEMENT	2023/2024 LAND AND BUILDINGS REVALUATION SERVICES - 45%	\$	8,501.90
EFT20324	09/08/2024	AMPAC DEBT RECOVERY (WA) PTY LTD	DEBT RECOVERY AND ASSOCIATED LEGAL FEES	\$	704.60
EFT20325	09/08/2024	AUSTRALIA'S GOLDEN OUTBACK	2024/2025 MEMBERSHIP	\$	350.00
EFT20326	09/08/2024	AUSTRALIAN TAXATION OFFICE	BAS - JUNE 2024	\$	21,379.00
EFT20327	09/08/2024	BENARA NURSERIES	VARIOUS STREET TREES	\$	3,896.86
EFT20328	09/08/2024	BEST OFFICE SYSTEMS	PRINITING CHARGES - ADMIN OFFICE, RESOURCE CENTRE, WORKS DEPOT	\$	413.53
EFT20329	09/08/2024	CJS AGRI-MECHANICS	PLANT REPAIRS - ROLLER	\$	2,167.88
EFT20330	09/08/2024	CTI LOGISTICS (FORMERLY STIRLING FREIGHT EXPRESS)	FREIGHT CHARGES	\$	30.47
EFT20331	09/08/2024	CARRAMAR RESOURCE INDUSTRIES	SAND	\$	2,830.30
EFT20332	09/08/2024	CORRIGIN HOTEL	ACCOMODATION AND MEALS - VALUATION CONSULTANT	\$	560.00
EFT20333	09/08/2024	CORRIGIN OFFICE SUPPLIES	STATIONERY SUPPLIES	\$	544.50
EFT20334	09/08/2024	CORRIGIN PHARMACY	REPLENISH FIRST AID KITS	\$	11.97
EFT20335	09/08/2024	CORRIGIN ROADHOUSE	JULY BUDGET WORKSHOP DINNER	\$	200.00
EFT20336	09/08/2024	CORRIGIN TIDY TOWN COMMITTEE	2024/2025 FINANCIAL SUPPORT CONTRIBUTION	\$	1,000.00
EFT20337	09/08/2024	CORRIGIN TYREPOWER	PLANT REPAIRS - TRUCK TYER	\$	182.00
EFT20338	09/08/2024	CORRIGIN WINDMILL MOTEL	ACCOMODATION - ACTING CEO	\$	140.00
EFT20339	09/08/2024	D & K HILL	KEY BOND RETURN - CREC	\$	100.00
EFT20340	09/08/2024	DEPARTMENT OF PREMIER AND CABINET	2024/2025 FIREBREAK ORDER - GOVERNMENT GAZETTE PUBLICATION	\$	452.64
EFT20341	09/08/2024	EASTERN HILLS CHAINSAWS & MOWERS	CHAINSAW	\$	551.65
EFT20342	09/08/2024	EXCLUSIONS NETTING SERVICES WA	SUPPLY OF BIRD AWAY GEL DISCS FOR CREC	\$	1,160.50
EFT20343	09/08/2024	EXURBAN PTY LTD	TOWN PLANNING CONSTULTANCY FOR JULY 2024	\$	2,524.30
EFT20344	09/08/2024	FIRST HEALTH SERVICES	MEDICAL SUPPORT FEE FOR AUGUST 2024	\$	14,087.78
EFT20345	09/08/2024	FLUIDPRO PTY LTD	IBC AGITATOR WITH MARINE PROPELLOR	\$	3,789.50
EFT20346	09/08/2024	GERALDINE ELIZBAETH SMITH	STAFF REIMBURSEMENT	\$	198.00
EFT20347	09/08/2024	GREENWAY TURF SOLUTIONS	GREENMAX LIQUID FERTILISER	\$	1,458.60

EFT20348	09/08/2024 HARRIS ZUGLIAN ELECTRICS	REPAIRS TO HYDRO POOL HEATER	\$	1,420.30
EFT20349	09/08/2024 HERSEY'S SAFETY PTY LTD	GAS CYLINDER STORAGE CABINET	\$	3,711.12
EFT20350	09/08/2024 KATEMS SUPERMARKET	DEPOT STAFF LUNCH	\$	415.06
EFT20351	09/08/2024 LANDGATE	RURAL UV INTERIM VALUATION	\$	177.74
EFT20352	09/08/2024 LINKWEST	LINKWEST CRC SECTOR SUPPORT MEMBERSHIP	\$	405.00
EFT20353	09/08/2024 LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA WA	STAFF TRAINING	Ś	1,375.00
EFT20354	09/08/2024 LOCAL HEALTH AUTHORITIES ANALYTICAL COMMITTEE	ANNUAL ANALYTICAL SERVICE	\$	526.90
EFT20355	09/08/2024 M2 TECHNOLOGY GROUP PTY LTD (M2 ON HOLD)	MESSAGES ON HOLD TELEPHONE SUBSCRIPTION - JULY 2024	\$	110.00
EFT20356	09/08/2024 MOORE AUSTRALIA W A PTY LTD	STAFF TRAINING	\$	5,632.00
EFT20357	09/08/2024 NEU-TECH AUTO ELECTRICS	PLANT REPAIRS - BILBARIN FIRE TRUCK TYRE	\$	9,682.98
EFT20358	09/08/2024 READY TECH USER GROUP WA INC (IT VISION USER GROUP INC)		\$	847.00
EFT20359	09/08/2024 READYTECH (FORMLY IT VISION)	2024/2025 SNERGYSOFT LICENSE	\$	43,538.08
EFT20360	09/08/2024 RURAL HEALTH WEST	2024/2025 MEMBERSHIP	\$	100.00
EFT20361	09/08/2024 ST JOHN AMBULANCE WA LTD	2 PORTABLE MEDUIM RISK WORKPLACE FIRST AID KITS	\$	342.35
EFT20362	09/08/2024 SUMWARE CONSULTING LTD	LIBRARY SOFTWARE SUPPORT SUBSCRIPTION - JULY 2024 -FEB 2026	\$	834.25
EFT20363	09/08/2024 TR & NN JONES	KEY BOND RETURN - CREC	\$	100.00
EFT20364	09/08/2024 TELSTRA LIMITED	PHONE & INTERNET CHARGES	\$	919.92
EFT20365	09/08/2024 THE BUTCHERS BLOCK	DEPOT STAFF LUNCH	\$	103.12
EFT20366	09/08/2024 THINKPROJECT AUSTRALIA PTY LTD	2024/2025 SUBSCRIPTION	\$	10,745.03
EFT20367	09/08/2024 WA CONTRACT RANGER SERVICES	RANGER SERVICES - ANIMAL CONTROL	\$	721.87
EFT20368	09/08/2024 WA LOCAL GOVERNMENT ASSOCIATION (WALGA)	LOCAL GOVERNMENT COUNCILLORS CONVENTION REGISTRATION	\$	47,665.17
EFT20369	09/08/2024 WALLIS COMPUTER SOLUTIONS	2024/2025 IT SUPPORT SERVICE	\$	73,918.71
EFT20370	09/08/2024 WESTRAC PTY LTD	PLANT REPAIRS - GRADER	\$	39,184.95
EFT20371	09/08/2024 WESTERN STABILISERS PTY LTD	ANNUAL INSPECTION FOR LICENCING - COMMUNITY BUS	\$	241.00
EFT20372	09/08/2024 WHEATBELT BUSINESS NETWORK	2024/2025 MEMBERSHIP	\$	2,000.00
EFT20376	09/08/2024 SALARY PACKAGING AUSTRALIA	SALARY PACKAGING PAYROLL DEDUCTION	\$	409.63
EFT20377	09/08/2024 CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS	\$	78.58
EFT20378	14/08/2024 AMPAC DEBT RECOVERY (WA) PTY LTD	DEBT RECOVERY AND ASSOCIATED LEGAL FEES	\$	974.88
EFT20379	14/08/2024 CEMETERIES & CREMATORIA ASSOCIATION OF WA INC	2024/2025 MEMBERSHIP	\$	130.00
EFT20380	14/08/2024 CORRIGIN HARDWARE	TOILET CISTERN -23A MCANDREW AVE	\$	1,029.70
EFT20381	14/08/2024 EDGE SECURITY WA	CCTV INSTALLATION AT GYM	\$	2,200.00
EFT20382	14/08/2024 EUROFINS ARL PTY LTD	ANALYTICAL SERVICES	\$	104.50
EFT20383	14/08/2024 GREAT SOUTHERN FUEL SUPPLIES	DIESEL	\$	21,594.48
EFT20384	14/08/2024 LG BEST PRACTICES PTY LTD	PAYROLL SERVICES FOR JULY PAYROLL	\$	7,436.00
EFT20385	14/08/2024 SCAVENGER FIRE & SAFETY	NEW FIRE EXTINGUISHERS - VARIOUS PROPERTIES	\$	1,651.10
EFT20386	14/08/2024 STAR TRACK EXPRESS PTY LTD	FREIGHT CHARGES	\$	67.59
EFT20387	14/08/2024 TALIS CONSULTANTS PTY LTD	UPDATED BENDERING LANDFILL MANAGEMENT PLAN	\$	1,848.00

EFT20388	14/08/2024 TEAM GLOBAL EXPRESS - TOLL GLOBAL	FREIGHT CHARGES	\$ 260.81
EFT20389	14/08/2024 WA CONTRACT RANGER SERVICES	RANGER SERVICES - ANIMAL CONTROL	\$ 693.00
EFT20390	21/08/2024 SYNERGY	ELECTRICITY CHARGES	\$ 4,336.65
EFT20392	21/08/2024 AC ELECTRICS WA	DIGITAL POWERPOINT TIMER	\$ 88.00
EFT20393	21/08/2024 AVON WASTE	RUBBISH COLLECTION - JULY 2024	\$ 23,925.14
EFT20394	21/08/2024 BGC QUARRIES	AGGREGATE - CONCRETE MIX 20MM	\$ 3,901.55
EFT20395	21/08/2024 BOC LIMITED	LIQUID NITROGEN	\$ 13.83
EFT20396	21/08/2024 CJS AGRI-MECHANICS	PLANT REPAIRS - TIPPER TRUCK HOIST	\$ 17,362.55
EFT20397	21/08/2024 CORRIGIN PHARMACY	REPLENISH FIRST AID KITS	\$ 55.98
EFT20398	21/08/2024 CORRIGIN TYREPOWER	PLANT REPAIRS - TRUCK TYRE	\$ 181.00
EFT20399	21/08/2024 CORRIGIN VOLUTEER FIRE AND RESCUE	PLANNED BURN - CORRIGIN SHIRE DEPOT	\$ 3,750.00
EFT20400	21/08/2024 CORRIGIN WINDMILL MOTEL	ACCOMODATION - ACTING CEO	\$ 3,850.00
EFT20401	21/08/2024 DANTHONIA DESIGNS	REPLACEMENT WELCOME SIGN ON BRUCE ROCK ROAD	\$ 3,112.01
EFT20402	21/08/2024 DOWN TO EARTH TRAINING AND ASSESSING	STAFF TRAINING	\$ 8,496.00
EFT20403	21/08/2024 EUROFINS ARL PTY LTD	ANALYTICAL SERVICES	\$ 126.50
EFT20404	21/08/2024 INTERFIRE AGENCIES	BUSH FIRE UNIFORMS	\$ 21,643.08
EFT20405	21/08/2024 KYLIE ANN CALEY	STAFF REIMBURSEMENT	\$ 200.00
EFT20406	21/08/2024 M2 TECHNOLOGY GROUP PTY LTD (M2 ON HOLD)	MESSAGES ON HOLD TELEPHONE SUBSCRIPTION - AUGUST 2024	\$ 110.00
EFT20407	21/08/2024 MOORE AUSTRALIA W A PTY LTD	STAFF TRAINING	\$ 385.00
EFT20408	21/08/2024 SCAVENGER FIRE & SAFETY	FIRE EXTINGUISH SERVICE - SHIRE BUILDINGS	\$ 2,126.30
EFT20409	21/08/2024 ST JOHN AMBULANCE WA LTD	STAFF TRAINING	\$ 1,870.00
EFT20410	21/08/2024 TEAM GLOBAL EXPRESS - TOLL GLOBAL	FREIGHT CHARGES	\$ 426.67
EFT20411	21/08/2024 TELSTRA LIMITED	PHONE & INTERNET CHARGES	\$ 1,017.01
EFT20412	21/08/2024 WALLIS COMPUTER SOLUTIONS	CRC COMPUTER REPLACEMENT	\$ 3,348.40
EFT20413	22/08/2024 CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS	\$ 28.98
EFT20414	22/08/2024 MUNICIPAL EMPLOYEES UNION	PAYROLL DEDUCTIONS	\$ 41.00
EFT20415	22/08/2024 SHIRE OF CORRIGIN OUTSIDE STAFF SOCIAL CLUB	PAYROLL DEDUCTIONS	\$ 130.00
EFT20416	22/08/2024 SALARY PACKAGING AUSTRALIA	SALARY PACKAGING PAYROLL DEDUCTION	\$ 409.63
EFT20417	30/08/2024 A & M MEDICAL SERVICES PTY LTD	ANNUAL SERVICE OF DEFIBRILLATORS	\$ 787.49
EFT20418	30/08/2024 AUSTRALIAN TAXATION OFFICE	BAS - JULY 2024	\$ 32,222.00
EFT20419	30/08/2024 AVON WASTE	HOOK BIN HIRE AT TRANSFER STATION - JULY 2024	\$ 1,962.81
EFT20420	30/08/2024 BEST OFFICE SYSTEMS	ADMIN OFFICE INVESTIGATE WASTE TONER ISSUE	\$ 104.50
EFT20421	30/08/2024 BROWNLEY'S PLUMBING & GAS	INSTALLATION OF ISOLATION VALVE AT ROTARY PARK	\$ 498.85
EFT20422	30/08/2024 CORRIGIN HISTORICAL SOCIETY (INC)	INSURANCE REIMBURSEMENT	\$ 823.93
EFT20423	30/08/2024 CORRIGIN ROADHOUSE	STAFF TRAINING	\$ 250.00
EFT20424	30/08/2024 CORRIGIN TYREPOWER	PLANT REPAIRS - TRUCK TYRE	\$ 814.00
EFT20425	30/08/2024 CORSIGN WA PTY LTD	STREET SIGNS	\$ 3,013.56

EFT20426	30/08/2024 D&L STUDIO PTY LTD T/AS - METAL ARTWORK CREATIONS	STAFF NAME BADGE	\$	15.24
EFT20427	30/08/2024 GREENFIELD TECHNICAL SERVICES	ASSISTANCE WITH DRFAWA EMERGENCY CLAIMS - FLOOD AND FIRE	\$	1,917.58
EFT20428	30/08/2024 HERSEY'S SAFETY PTY LTD	PERSONAL PROTECTIVE EQUIPMENT	\$	2,844.25
EFT20429	30/08/2024 HUTTON AND NORTHEY SALES	PLANT PART - SKID STEER	\$	6,604.78
EFT20430	30/08/2024 LGISWA	2024/2025 LGIS EMPLOYEE ASSISTANCE PROGRAM SUBSCRIPTION	\$	3,808.20
EFT20431	30/08/2024 LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA WA	STAFF TRAINING	\$	975.00
EFT20432	30/08/2024 NEU-TECH AUTO ELECTRICS	REINSTATE PHONE COMMUNICATIONS	\$	672.65
EFT20433	30/08/2024 RURAL TREES SERVICES	STUMP GRINDING	\$	1,804.00
EFT20434	30/08/2024 TEAM GLOBAL EXPRESS - TOLL GLOBAL	FREIGHT CHARGES	\$	110.55
EFT20435	30/08/2024 TELSTRA LIMITED	PHONE & INTERNET CHARGES	\$	762.89
EFT20436	30/08/2024 THINKPROJECT AUSTRALIA PTY LTD	2024/2025 SOFTWARE SUBSCRIPTION	\$	1,239.84
EFT20437	30/08/2024 TREMAR CONTRACTING	PUMP OUT GREASE TRAPS AT CREC	\$	407.00
EFT20438	30/08/2024 WESTERN HYDRAULICS CORRIGIN	PLANT REPAIRS - GRADER HOSE	\$	198.62
		TOTAL EFT PAYMENTS	\$ 5	14,048.30

#### DIRECT DEBIT PAYMENTS

DD#	DATE	NAME	DESCRIPTION	ΑM	OUNT
DD16452.1	05/08/2024	SYNERGY	ELECTRICITY CHARGES	\$	178.54
DD16511.1	22/08/2024	SYNERGY	ELECTRICITY CHARGES	\$	4,189.52
DD16512.1	15/08/2024	SYNERGY	ELECTICITY CHARGES	\$	8,776.02
DD16514.1	08/08/2024	SYNERGY	ELECTRICITY CHARGES	\$	639.62
DD16515.1	06/08/2024	SYNERGY	ELECTRICITY CHARGES	\$	124.60
DD16516.1	07/08/2024	SYNERGY	ELECTRICITY CHARGES	\$	165.61
DD16518.1	07/08/2024	AWARE SUPER	SUPERANNUATION CONTRIBUTIONS	\$	9,727.52
DD16518.10	07/08/2024	TELSTRA SUPERANNUATION SCHEME	SUPERANNUATION CONTRIBUTIONS	\$	303.87
DD16518.2	07/08/2024	MLC NAVIGATOR RETIREMENT PLAN	SUPERANNUATION CONTRIBUTIONS	\$	124.87
DD16518.3	07/08/2024	HOSTPLUS SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	\$	251.11
DD16518.4	07/08/2024	REST SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	\$	753.43
DD16518.5	07/08/2024	AUSTRALIAN SUPER	SUPERANNUATION CONTRIBUTIONS	\$	1,907.06
DD16518.6	07/08/2024	CATHOLIC SUPER	SUPERANNUATION CONTRIBUTIONS	\$	1,426.13
DD16518.7	07/08/2024	CONSTRUCTION & BUILDING UNIONS SUPER FUND	SUPERANNUATION CONTRIBUTIONS	\$	317.23
DD16518.8	07/08/2024	HESTA	SUPERANNUATION CONTRIBUTIONS	\$	66.30
DD16518.9	07/08/2024	AUSTRALIAN RETIREMENT TRUST	SUPERANNUATION CONTRIBUTIONS	\$	549.72
DD16564.1	21/08/2024	AWARE SUPER	SUPERANNUATION CONTRIBUTIONS	\$	8,838.81
DD16564.10	21/08/2024	TELSTRA SUPERANNUATION SCHEME	SUPERANNUATION CONTRIBUTIONS	\$	308.26
DD16564.2	21/08/2024	MLC NAVIGATOR RETIREMENT PLAN	SUPERANNUATION CONTRIBUTIONS	\$	124.87
DD16564.3	21/08/2024	HOSTPLUS SUPERANNUATION FUND	SUPERANNUATION CONTRIBUTIONS	\$	396.28

DD16564.4	21/08/2024	REST SUPERANNUATION	SUPERANNUATION CONTRIBUTIONS	\$	832.54
DD16564.5	21/08/2024	AUSTRALIAN SUPER	SUPERANNUATION CONTRIBUTIONS	\$	1,907.06
DD16564.6	21/08/2024	CATHOLIC SUPER	SUPERANNUATION CONTRIBUTIONS	\$	1,426.13
DD16564.7	21/08/2024	CONSTRUCTION & BUILDING UNIONS SUPER FUND	SUPERANNUATION CONTRIBUTIONS	\$	317.23
DD16564.8	21/08/2024	HESTA	SUPERANNUATION CONTRIBUTIONS	\$	66.30
DD16564.9	21/08/2024	AUSTRALIAN RETIREMENT TRUST	SUPERANNUATION CONTRIBUTIONS	\$	529.60
			TOTAL DIRECT DEBIT PAYMENTS	\$	44,248.23
EFT PAYROI	L PAYMENTS				
PPE #	DATE	NAME	DESCRIPTION	A۱	<b>JOUNT</b>
	08/08/2024		FORTNIGHTLY PAYROLL PAYMENT TO EMPLOYEES		76,282.56
PPE 210824	22/08/2024	PAYROLL	FORTNIGHTLY PAYROLL PAYMENT TO EMPLOYEES	\$	71,842.79
			TOTAL EFT PAYROLL PAYMENTS	\$ :	148,125.35
			MUNICIPAL ACCOUNT - TOTAL PAYMENTS	\$	707,661.80
TRUST ACC	COLINT				
EFT PAYME					
EFT#	DATE	NAME	DESCRIPTION	Λ.	<b>IOUNT</b>
EFT20373		PUBLIC TRANSPORT AUTHORITY	TRANSWA TICKET SALES FOR JULY 2024	Ċ	58.02
EFT20374		SHIRE OF CORRIGIN - MUNICIPAL	TRANSWA TICKET SALESTON JOET 2024  TRANSWA TICKET COMMISSIONS FOR JULY 2024	ب خ	12.78
LI 120374	00,00,2024	STILL OF COMMON WOMEN AL	TOTAL EFT PAYMENTS	\$	70.80
			TOTALLITATMENTS	Ţ	70.00
			TRUST ACCOUNT - TOTAL PAYMENTS	\$	70.80
EDNA STEV	/ENSON TRU	ST ACCOUNT			
EFT PAYME	NTS				
			DESCRIPTION		40LINT
EFT#	DATE	NAME	DESCRIPTION	ΑN	/IOUNT
		NAME CORRIGIN DISTRICT HIGH SCHOOL	EDNA STEVENSON SCHOLARSHIP - AVA CROTTY	<b>AN</b> \$	4,849.31
EFT#				AN \$ <b>\$</b>	
EFT#			EDNA STEVENSON SCHOLARSHIP - AVA CROTTY	\$	4,849.31

#### LICENSING TRUST ACCOUNT

#### **DIRECT DEBIT PAYMENTS**

DIRECT DEBI	IT PAYMENTS				
DD#	DATE NAME	DESCRIPTION	ΑN	MOUNT	
DD16497.1	01/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	694.15	
DD16499.1	02/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	547.40	
DD16501.1	05/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,075.80	
DD16508.1	06/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	646.20	
DD16510.1	07/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	293.95	
DD16527.1	08/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,084.75	
DD16530.1	09/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	124.80	
DD16534.1	12/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	216.35	
DD16537.1	13/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	280.25	
DD16549.1	14/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	3,147.50	
DD16551.1	15/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	613.55	
DD16553.1	16/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,312.45	
DD16555.1	19/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	504.80	
DD16572.1	22/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,238.30	
DD16575.1	23/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	111.70	
DD16577.1	26/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	114.70	
DD16579.1	27/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	568.70	
DD16583.1	28/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,146.65	
DD16597.1	29/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	288.05	
DD16599.1	30/08/2024 DEPARTMENT OF TRANSPORT	DOT DIRECT DEBIT	\$	1,288.15	
		TOTAL DIRECT DEBIT PAYMENTS	\$	15,298.20	
					_
		LICENSING TRUST ACCOUNT - TOTAL PAYMENTS	\$	15,298.20	_
		TOTAL MUNICIPAL ACCOUNT PAYMENTS	\$ '	707,661.80	
		TOTAL TRUST ACCOUNT PAYMENTS	\$	70.80	
		TOTAL EDNA STEVENSON TRUST ACCOUNT PAYMENTS	\$	4,849.31	
		TOTAL LICENSING TRUST ACCOUNT PAYMENTS	\$	15,298.20	
					_
		TOTAL OF ALL ACCOUNT PAYMENTS	\$	727,880.11	_

#### **CREDIT CARD PURCHASES**

DATE	NAME	DESCRIPTION	AM	IOUNT
10/07/2024	LOCAL GOVERNMENT PROFESSIONALS	LG PRO MEMBERSHIP	\$	560.00
03/07/2024	LOCAL GOVERNMENT PROFESSIONALS	LG PRO MEMBERSHIP	\$	560.00
15/07/2024	WIX.COM	COME EXPLORE CORRIGIN WEBSITE	\$	40.59
15/07/2024	INTEREST & CHARGES	INTERNATIONAL TRANSACTION - WIX.COM	\$	1.22
26/07/2024	ESPLANADE HOTEL FREMANTLE	STAFF TRAINING	\$	55.83
26/07/2024	OFFICE WORKS	STATIONERY SUPPLIES	\$	420.33
		TOTAL CREDIT CARD PURCHASES	\$	1,637.97

#### **FUEL CARD PURCHASES**

DATE	NAME	DESCRIPTION		ΑM	IOUNT
14/08/2024	ADMINISTRATION VEHICLE - CR1	FUEL CARD PURCHASES FOR JULY 2024		\$	371.15
14/08/2024	ADMINISTRATION VEHICLE - 2CR	FUEL CARD PURCHASES FOR JULY 2024		\$	100.12
14/08/2024	WORKS AND SERVICES VEHICLE - 1CR	FUEL CARD PURCHASES FOR JULY 2024		\$	633.27
14/08/2024	ROE HEALTH VEHICLE - 4CR	FUEL CARD PURCHASES FOR JULY 2024		\$	1,316.72
14/08/2024	MEDICAL SERVICES VEHICLE - CR1000	FUEL CARD PURCHASES FOR JULY 2024		\$	527.53
14/08/2024	MEDICAL SERVICES VEHICLE - AMBULANCE	FUEL CARD PURCHASES FOR JULY 2024		\$	99.77
14/08/2024	BUSHFIRE BRIGADE VEHICLE - BULYEE	FUEL CARD PURCHASES FOR JULY 2024		\$	130.13
			TOTAL FUEL CARD PURCHASES	\$	3,178.69



### SHIRE OF CORRIGIN

### **MONTHLY FINANCIAL REPORT**

(Containing the required statement of financial activity and statement of financial position)

## FOR THE PERIOD ENDED 31 AUGUST 2024

## LOCAL GOVERNMENT ACT 1995 LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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# SHIRE OF CORRIGIN STATEMENT OF FINANCIAL ACTIVITY FOR THE PERIOD ENDED 31 AUGUST 2024

	Supplementary Information	Adopted Budget Estimates (a)	YTD Budget Estimates (b)	YTD Actual (c)	Variance* \$ (c) - (b)	Variance* % ((c) - (b))/(b)	Var.
OPERATING ACTIVITIES		\$	Þ	Þ	\$	%	
Revenue from operating activities							
General rates	9	3,105,881	3,101,713	3,101,515	(198)	(0.01%)	
Rates excluding general rates		43,539	43,539	43,539	` ó	` ,	
Grants, subsidies and contributions	12	790,227	380,832	444,642	63,810	16.76%	
Fees and charges		793,273	130,154	106,180	(23,974)	(18.42%)	$\blacksquare$
Interest revenue		258,063	10,698	19,255	8,557	79.99%	
Other revenue		1,383,857	38,150	172,251	134,101	351.51%	
Profit on asset disposals	5	264,678	0	0	0		
		6,639,518	3,705,086	3,887,382	182,296	4.92%	
Expenditure from operating activities							
Employee costs		(2,840,581)	(473,324)	(418,159)	55,165		<u> </u>
Materials and contracts		(4,250,149)	(632,552)	(421,162)	211,390		<b>A</b>
Utility charges		(320,869)	(53,410)	(25,213)	28,197		<b>A</b>
Depreciation Finance costs			(1,061,312)	0	1,061,312		
Insurance		(55,726)	(E4 200)	(165,099)	(110.911)		•
Other expenditure		(326,024) (157,468)	(54,288) (26,236)	(36,533)	(110,811) (10,297)	(204.12%) (39.25%)	<b>*</b>
Loss on asset disposals	5	(166,805)	(20,230)	(30,333)	(10,297)	,	•
2000 off addet disposario	3	(14,486,045)		(1,066,166)	1,234,956		
		(14,400,040)	(2,001,122)	(1,000,100)	1,204,000	00.0770	
Non-cash amounts excluded from operating							
activities	Note 2(b)	6,270,550	0	(1,664)	(1,664)	0.00%	
Amount attributable to operating activities		(1,575,977)	1,403,964	2,819,552	1,415,588		•
INVESTING ACTIVITIES Inflows from investing activities Proceeds from capital grants, subsidies and	13						
contributions		2,651,843	347,474	192,351	(155,123)		
Proceeds from disposal of assets	5	654,485	0	0	0		
Outlier of the outlier outlier and title		3,306,328	347,474	192,351	(155,123)	(44.64%)	
Outflows from investing activities	4	(4.240.500)	(20,000)	•	20,000	400.000/	
Payments for property, plant and equipment Payments for construction of infrastructure	4 4	(1,348,500) (3,354,509)	(20,000) 0	0 (16,600)	20,000 (16,600)	100.00% 0.00%	•
r ayments for construction of infrastructure	4	(4,703,009)	(20,000)	(16,600)	3,400		•
		(4,700,000)	(20,000)	(10,000)	0,400	17.0070	
Non-cash amounts excluded from investing activities	Note 2(c)	(258,130)	(2,488)	(2,488)	0	0.00%	
Amount attributable to investing activities		(1,654,811)	324,986	173,263	(151,723)	(46.69%)	
		( ) /- /	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	.,	( - , -,	( ,	
FINANCING ACTIVITIES							
Inflows from financing activities							
Transfer from reserves	3	3,233,135	0	0	0	0.00%	
		3,233,135	0	0	0	0.00%	
Outflows from financing activities							
Repayment of borrowings	10	(98,827)	0	0	0		
Transfer to reserves	3	(3,149,667)	0	(2,098,531)	(2,098,531)	0.00%	•
		(3,248,494)	0	(2,098,531)	(2,098,531)	0.00%	
Amount attributable to financing activities		(15,359)	0	(2,098,531)	(2,098,531)	0.00%	
MOVEMENT IN SURPLUS OR DEFICIT							
Surplus or deficit at the start of the financial year	r	3,246,147	3,246,147	3,220,418	(25,729)	(0.79%)	$\blacksquare$
Amount attributable to operating activities		(1,575,977)	1,403,964	2,819,552	1,415,588	100.83%	<u> </u>
Amount attributable to investing activities		(1,654,811)	324,986	173,263	(151,723)	(46.69%)	<b>—</b>
Amount attributable to financing activities		(15,359)	0	(2,098,531)	(2,098,531)	0.00%	•
Surplus or deficit after imposition of general rate	es .	0	4,975,097	4,114,708	(860,389)	(17.29%)	•

#### **KEY INFORMATION**

▲▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

<sup>\*</sup> Refer to Note 3 for an explanation of the reasons for the variance.

# SHIRE OF CORRIGIN STATEMENT OF FINANCIAL POSITION FOR THE PERIOD ENDED 31 AUGUST 2024

	Supplementary Information	30 June 2024	24 August 2024
	information	\$ June 2024	31 August 2024 \$
CURRENT ASSETS		Ψ	Ψ
Cash and cash equivalents	2	4,743,502	6,933,497
Trade and other receivables		130,164	1,078,305
Other financial assets		3,691,345	3,691,345
Inventories	7	67,911	63,503
Other assets	7	39	14,948
Assets classified as held for sale		130,000	130,000
TOTAL CURRENT ASSETS	•	8,762,961	11,911,598
NON-CURRENT ASSETS			
Trade and other receivables		12,973	14,637
Other financial assets		83,171	83,171
Inventories		1,235,000	1,235,000
Property, plant and equipment		27,571,517	27,574,002
Infrastructure		170,754,147	170,770,747
TOTAL NON-CURRENT ASSETS		199,656,808	199,677,557
TOTAL ASSETS		208,419,769	211,589,155
CURRENT LIABILITIES			
Trade and other payables	8	240,689	182,155
Other liabilities	11	492,756	707,110
Borrowings	10	98,827	98,827
Employee related provisions	11 .	349,792	349,793
TOTAL CURRENT LIABILITIES		1,182,064	1,337,886
NON-CURRENT LIABILITIES	40	4 400 504	4 400 504
Borrowings	10	1,126,584	1,126,584
Employee related provisions		26,402	26,402
TOTAL NON-CURRENT LIABILIT	IES	1,152,986	1,152,986
TOTAL LIABILITIES		2,335,050	2,490,872
TOTAL LIABILITIES		2,000,000	2,400,012
NET ASSETS	•	206,084,719	209,098,283
		- 2,00 -,- · •	,
EQUITY			
Retained surplus		33,953,087	34,868,123
Reserve accounts	3	4,329,305	6,427,836

This statement is to be read in conjunction with the accompanying notes.

Revaluation surplus
TOTAL EQUITY

167,802,326

206,084,718

167,802,327

209,098,286

# CITY/TOWN/SHIRE OF SOMEWHERE NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY FOR THE PERIOD ENDED 31 JULY 2024

#### 1 BASIS OF PREPARATION AND MATERIAL ACCOUNTING POLICIES

#### **BASIS OF PREPARATION**

This prescribed financial report has been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

#### Local Government Act 1995 requirements

Section 6.4(2) of the Local Government Act 1995 read with the Local Government (Financial Management) Regulations 1996, prescribe that the financial report be prepared in accordance with the Local Government Act 1995 and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The Local Government (Financial Management) Regulations 1996 specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the City to measure any vested improvements at zero cost.

Local Government (Financial Management) Regulations 1996, regulation 34 prescribes contents of the financial report. Supplementary information does not form part of the financial report.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

#### PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to 10 September 2024

#### THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the City controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements.

#### MATERIAL ACCOUNTING POLICES

Material accounting policies utilised in the preparation of these statements are as described within the 2024-25 Annual Budget. Please refer to the adopted budget document for details of these policies.

#### Critical accounting estimates and judgements

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

As with all estimates, the use of different assumptions could lead to material changes in the amounts reported in the financial report.

The following are estimates and assumptions that have a significant risk of causing a material adjustment to the carrying amounts of assets and liabilities within the next financial year and further information on their nature and impact can be found in the relevant note:

- Fair value measurement of assets carried at reportable value including:
  - Property, plant and equipment
  - Infrastructure
- Impairment losses of non-financial assets
- Expected credit losses on financial assets
- Assets held for sale
- Investment property
- Estimated useful life of intangible assets
- · Measurement of employee benefits
- Measurement of provisions
- · Estimation uncertainties and judgements made in relation to lease

#### STATEMENT OF FINANCIAL ACTIVITY INFORMATION

(a) Net current assets used in the Statement of Financial Activity	Supplementary Information	Adopted Budget Opening 30 June 2024	Last Year Closing 30 June 2024
Current assets		\$	\$
Cash and cash equivalents	2	1,600,073	4,743,502
Trade and other receivables		308,155	130,164
Other financial assets		3,059,131	3,691,345
Inventories	7	102,458	67,911
Other assets	7	0	39
Assets classified as held for sale		0	130,000
		5,069,817	8,762,961
Less: current liabilities			
Trade and other payables	8	(2,254,785)	(240,689)
Other liabilities	11	(193,677)	(492,756)
Borrowings	10	0	(98,827)
Employee related provisions	11	(348,980)	(349,792)
		(2,797,442)	(1,182,064)
Net current assets		2,272,375	7,580,897
Less: Total adjustments to net current assets Closing funding surplus / (deficit)	Note 2(d)	(2,272,375) <b>0</b>	(4,360,479) <b>3,220,418</b>

#### (b) Non-cash amounts excluded from operating activities

The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with *Financial Management Regulation 32*.

Non-cash amounts excluded from operating activities	Adopted Budget \$	YTD Budget (a)
Adjustments to operating activities		
Less: Profit on asset disposals 5	(264,678)	0
Add: Loss on asset disposals 5	166,805	0
Add: Depreciation	6,368,422	0
Non-cash movements in non-current assets and liabilities:		
- Pensioner deferred rates	0	0
Total non-cash amounts excluded from operating activities	6,270,549	0
(c) Non-cash amounts excluded from investing activities		
The following non-cash revenue and expenditure has been excluded from investing activities within the Statement of Financial Activity in accordance with <i>Financial Management Regulation 32</i> .		
Adjustments to investing activities  Movement in current unspent capital grants associated with restricted cash	(258,130)	(2,488)
Total non-cash amounts excluded from investing activities	(258,130)	(2,488)

#### (d) Current assets and liabilities excluded from budgeted deficiency

The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with <i>Financial Management Regulation</i> 32 to agree to the surplus/(deficit) after imposition of general rates.		Adopted Budget Opening 30 June 2024	Last Year Closing 30 June 2024
		\$	\$
Adjustments to net current assets			
Less: Reserve accounts	3	(2,233,065)	(4,329,306)
Less: Current assets not expected to be received at end of year:			
- Land held for resale		0	(130,000)
- Rates receivable		(68,912)	, , ,
- Excess Rates		29,602	0
Add: Current liabilities not expected to be cleared at the end of the year:		,	
- Current portion of borrowings	10	0	98,827
Total adjustments to net current assets	Note 2(a)	(2,272,375)	(4,360,479)

#### **CURRENT AND NON-CURRENT CLASSIFICATION**

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

#### SHIRE OF CORRIGIN NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY FOR THE PERIOD ENDED 31 AUGUST 2024

#### **3 EXPLANATION OF MATERIAL VARIANCES**

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2024-25 year is \$10,000 or 10.00% whichever is the greater.

Description	Var. \$	Var. %	
Revenue from operating activities	\$	%	
Grants, subsidies and contributions	63,810	16.76%	
Federal Assistance Quarterly Grant funding received earlier than anticipated.			
, ,		Permanent	
Fees and charges	(23,974)	(18.42%)	•
Fees and charges under anticipated YTD budget across all programs	, , ,	Timing	
Interest revenue	8,557	79.99%	
Interest earned on short term investment higher than anticipated YTD budget		<del>-</del>	
due to the high amount of cash being held in Treasury.  Other revenue	134,101	Timing <b>351.51%</b>	
Proceeds on sale of loader being held until audit is complete and asset register	104,101	331.3170	
rolled over to complete the disposal process			
Expanditure from energing activities			
Expenditure from operating activities Employee costs	55,165	11.65%	
Employee costs are under anticipated budget across all programs due to	55,155	1110070	_
budget spread		Timing	
Materials and contracts	211,390	33.42%	
Under anticipated YTD budget across all programs due to budget spread and			
capital works not yet commencing.	20.407	Timing	
Utility charges Under anticipated budget across all programs due to budget spread and timing	28,197	52.79%	
of invoices being received.		Timing	
Depreciation	1,061,312	•	
Depreciation not run until 23/24 audit is signed off and asset register rolled		Timing	_
Insurance	(110,811)	(204.12%)	
Under anticipated budget across all programs due to budget spread. Staff will correct this.		Timing	
Other expenditure	(10,297)		_
Under anticipated budget across all programs.	( -, - ,	Timing	
Inflavo from investing estivities			
Inflows from investing activities Proceeds from capital grants, subsidies and contributions	(155,123)	(44.64%)	_
	(111,111)	(**************************************	
Under anticipated budget due to LRCIP grant funds being received in advance and under AASB1058 and AASB15 the shire are required to recognise as a			
liability until project milestones have been met before recognising as income.			
		Timing	
Outflows from investing activities Payments for construction of infrastructure	(16,600)	0.00%	•
Consultant engaged to do engineering work on the Rabbit Proof Fence Road	(10,000)	0.0070	
project prior to commencement of construction works			
Outflows from financing activities			
Transfer to reserves	(2,098,531)		
		Timing	
Surplus or deficit after imposition of general rates	(860,389)	(17.29%)	▼
Due to variances described above			

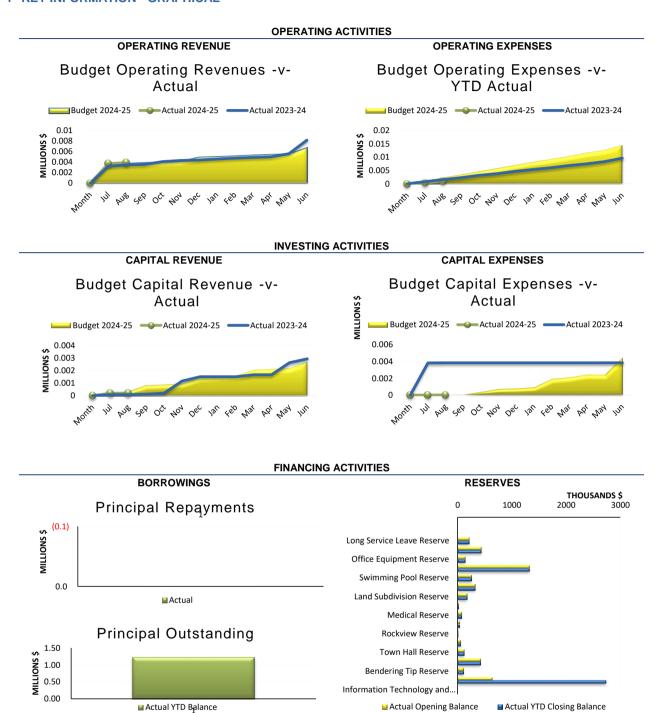
# **SHIRE OF CORRIGIN**

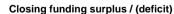
# **SUPPLEMENTARY INFORMATION**

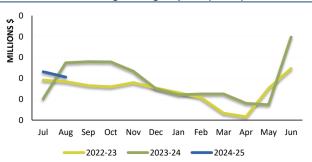
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#### 1 KEY INFORMATION - GRAPHICAL







This information is to be read in conjunction with the accompanying Financial Statements and Notes.

#### **2 CASH AND FINANCIAL ASSETS**

				Total			Interest	Maturity
Description	Classification	Unrestricted	Restricted	Cash	Trust	Institution	Rate	Date
		\$	\$	\$	\$			
Cash on hand								
Cash Float on Hand	Cash and cash equivalents	400		400				
At Call Deposit Accounts								
Municipal Fund	Cash and cash equivalents	2,653,830		2,653,830		NAB	0.00%	At Call
Overnight Cash Deposit Facility	Cash and cash equivalents	1,542,776		1,542,776		WATC	4.05%	At Call
Reserves At Call Fund	Cash and cash equivalents		2,736,492	2,736,492		NAB	0.00%	At Call
Trust Fund	Cash and cash equivalents				92,836	NAB	0.00%	At Call
Edna Stevenson Trust Fund	Cash and cash equivalents				821,678	NAB	0.55%	At Call
Police Licensing Trust Fund	Cash and cash equivalents				2,132	NAB	0.00%	At Call
Term Deposits								
Reserves Fund	Financial assets at amortised cost		3,691,345	3,691,345		NAB	4.90%	24/06/2025
Total		4,197,006	6,427,837	10,624,842	916,646			
Comprising								
Cash and cash equivalents		4,197,006	2,736,492	6,933,497	916,646			
Financial assets at amortised cost		0	3,691,345	3,691,345	0			
		4,197,006	6,427,837	10,624,842	916,646			

#### **KEY INFORMATION**

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Financial assets at amortised cost held with registered financial institutions are listed in this note other financial assets at amortised cost are provided in Note 4 - Other assets.



# SHIRE OF CORRIGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 AUGUST 2024

#### **3 RESERVE ACCOUNTS**

		Ori	ginal Bud	dget		Year to Date Actuals				
Reserve name	Budget Opening Balance	Budget Interest Earned	Budget Transfers In (+)	Budget Transfers Out (-)	Budget Closing Balance	Actual Opening Balance	Actual Interest Earned	Actual Transfers In (+)	Actual Transfers Out (- )	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Restricted by Council										
Long Service Leave Reserve	210,536	10,632	10,000		231,168	210,536	0	0	0	210,536
Staff Housing Reserve	436,347	22,036	20,000		478,383	436,347	0	0	0	436,347
Office Equipment Reserve	136,480	6,892	10,000		153,372	136,480	0	0	0	136,480
Plant Replacement Reserve	1,323,837	66,854	100,000		1,490,691	1,323,837	0	0	0	1,323,837
Swimming Pool Reserve	257,711	13,014	10,000		280,725	257,711	0	0	0	257,711
Roadworks Reserve	320,343	16,177			336,520	320,343	0	0	0	320,343
Land Subdivision Reserve	172,692	8,721	32,080		213,493	172,692	0	0	0	172,692
Townscape Reserve	19,084	964			20,048	19,084	0	0	0	19,084
Medical Reserve	68,012	3,435	20,000		91,447	68,012	0	0	0	68,012
LGCHP Long Term Maintenance Reserve	31,811	1,606	5,000	(20,000)	18,417	31,811	0	0	0	31,811
Rockview Reserve	10,579	534	1,000		12,113	10,579	0	0	0	10,579
Senior Citizens Reserve	57,381	2,898			60,279	57,381	0	0	0	57,381
Town Hall Reserve	118,240	5,971		(30,000)	94,211	118,240	0	0	0	118,240
Recreation & Events Centre Loan Reserve	420,968	21,259	100,000		542,227	420,968	0	0	0	420,968
Bendering Tip Reserve	107,323	5,420	10,000		122,743	107,323	0	0	0	107,323
Grants & Contributions Reserve	637,961	0	2,545,174	(3,183,135)	0	637,961	0	2,098,531	0	2,736,492
Information Technology and Software Reserve	0	0	100,000		100,000	0	0	0	0	0
	4,329,305	186,413	2,963,254	(3,233,135)	4,245,837	4,329,306	0	2,098,531	0	6,427,836

#### **4 CAPITAL ACQUISITIONS**

	Original	YTD Budget	YTD Actual	YTD Actual
Capital acquisitions	Budget			Variance
	\$	\$	\$	\$
<b>-</b>				_
Buildings	266,500	0	0	0
Furniture and equipment	95,000	20,000	0	(20,000)
Plant and equipment	987,000	0	0	0
Acquisition of property, plant and equipment	1,348,500	20,000	0	(20,000)
Infrastructure - roads	2,549,417	0	15,900	15,900
Infrastructure - Other	396,092	0	700	700
Infrastructure - Other	409,000	0	700	0
		0	16.600	
Acquisition of infrastructure	3,354,509	U	16,600	(23,400)
Total capital acquisitions	4,703,009	20,000	16,600	(43,400)
Capital Acquisitions Funded By:				
Capital grants and contributions	2,486,659	347,474	192,351	(155,123)
Other (disposals & C/Fwd)	385,705	0	0	Ó
Reserve accounts	•			
Town Hall Reserve	30,000	0	0	0
Grants & Contributions Reserve	521,135	0	0	0
Contribution - operations	1,279,510	(327,474)	(175,751)	151,723
Capital funding total	4,703,009	20,000	16,600	(3,400)

#### **KEY INFORMATION**

#### Initial recognition

An item of property, plant and equipment or infrastructure that qualifies for recognition as an asset is measured at its cost.

Upon initial recognition, cost is determined as the amount paid (or other consideration given) to acquire the assets, plus costs incidental to the acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition.

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with Local Government (Financial Management) Regulation 17A(5). These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

Individual assets that are land, buildings and infrastructure acquired between scheduled revaluation dates of the asset class in accordance with the Shire's revaluation policy, are recognised at cost and disclosed as being at reportable value.

#### Measurement after recognition

Plant and equipment including furniture and equipment and right-of-use assets (other than vested improvements) are measured using the cost model as required under Local Government (Financial Management) Regulation 17A(2). Assets held under the cost model are carried at cost less accumulated depreciation and any impairment losses being their reportable value.

#### Reportable Value

In accordance with Local Government (Financial Management) Regulation 17A(2), the carrying amount of non-financial assets that are land and buildings classified as property, plant and equipment, investment properties, infrastructure or vested improvements that the local government controls.

Reportable value is for the purpose of Local Government (Financial Management) Regulation 17A(4) is the fair value of the asset at its last valuation date minus (to the extent applicable) the accumulated depreciation and any accumulated impairment losses in respect of the non-financial asset subsequent to its last valuation date.

#### 4 CAPITAL ACQUISITIONS - DETAILED

#### Capital expenditure total Level of completion indicators

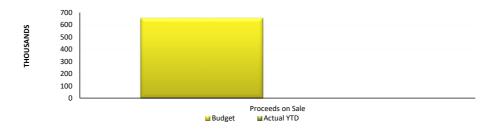


Level of completion indicator, please see table at the end of this note for further detail.

	Account Description	Project Description		YTD Budget		Variance (Under)/Ov
			\$	\$	\$	\$
	Land and Building	ıs				-
11180	Capital Expense - Town Hall Upgrade	Recommission front steps and install accessible ramp	30,000	0	0	-
11388	Recreation & Events Centre Capital Expenditure	Construct portico at entrance	40,000	0	0	
7780	Capital Expenses - Medical Centre	Refurbishment of Wellness Centre and Re-roof Surgery and Wel	136,000	0	0	
09184	Staff Housing Capital Expenditure - Building	Re-gyprock over render - 1 Spanney Street	15,000	0	0	
09184	Staff Housing Capital Expenditure - Building	Upgrade Ducted Airconditioning - 15 McAndrew Ave	17,500	0	0	
10180	Capital Expense - Transfer Station	Tropical Roof over Donga	8,000	0	0	
8285	Capital Expenditure - CRC Reception Upgrade	Front Desk Re-Fitout	20,000	0	0	
	Furniture and Equipm					
11383	Capital Expense - Other Recreation F&E	Install new public address system	60,000	0	0	
08282	Capital Expenditure - Resource Centre F&E	Audio Visual Equipment Replacement	15,000	0	0	20
07784	Medical Centre Capital F&E	Server Upgrade	20,000	20,000	0	20,
	Plant and Equipme	ent				
12391	Capital Expenditure - Tipper - CR4	2013 Hino 5 Tonne Tipper Truck (CR4)	120,000	0	0	
12399	Capital Expenditure - Tipper - CR16	2014 NPR 300 Isuzu Crew Cab Truck (CR16)	100,000	0	0	
12400	Capital Expenditure - Road Train Combination	2003 Tri Axle Low Loader Trailer (CR2233)	200,000	0	0	
12386	Capital Expense - Skidsteer (CR720)	2015 Caterpillar 226B3 Skidsteer Loader (CR13)	105,000	0	0	
14294	Capital Expenditure - Parks, Gardens, & Town Mtce Plant	1998 John Deere 5410 Tractor (CR10)	65,000	0	0	
14294	Capital Expenditure - Parks, Gardens, & Town Mtce Plant	2006 Caterpillar Forklift (CR4030)	50,000	0	0	
14286	Capital Expenditure - Small Trailers - P&E	2007 John Papas Trailer (1THY294)	10,000	0	0	
14286	Capital Expenditure - Small Trailers - P&E	1996 7x5 Tandem Tipper Trailer (CR3246)	15,000	0	0	
14283	Capital Expense - Utility (CR565)	2015 Toyota Hilux Utility (CR565)	35,000	0	0	
14582	Capital Expense - CEO Vehicle (CR1)	2023 Toyota Prado DSL GXL (CR1)	82,000	0	0	
7480	Capital Purchase - ROE Health Vehicle (4CR)	2023 Fortuner 2.8I DSL Wagon (4CR)	65,000	0	0	
7781	Capital Expenses - Doctors Vehicle (CR1000)	2021 Toyota Kluger AWD GXL	65,000	0	0	
14280	Capital Expense - WS Vehicle (CR123)	2024 Mitsubishi QF Pajero (1CR)	55,000	0	0	
14287	Capital Expenditure - Small Plant Purchases	Miscellaneous small plant (> \$5,000)	20,000	0	0	
	Infrastructure - Roc	ads				
12173	Capital Expenditure - Yealering-Kulin Road	Yealering Kulin Road	95,000	0	0	
12166	Capital Expenditure - Gill Road	Gill Road	119,607	0	0	
12169	Capital Expenditure - Bendering Road	Bendering Road	90,000	0	0	
12182	Capital Expenditure - Bruce Rock Corrigin Road	Bruce-Rock Corrigin Road (WSFN)	120,000	0	0	
12181	Capital Expenditure - Rabbit Proof Fence Road	Rabbit Proof Fence Road (WFSN)	576,236	0	15,900	(15
12162	Capital Expenditure - Various Town Streets	Jose Street & McAndrew Avenue	60,000	0	0	
12180	Capital Expenditure - Corrigin Quairading Road	Corrigin Quairading Road	450,400	0	0	
12189	Capital Expenditure - Wickepin Corrigin	Wickepin Corrigin Road	473,833	0	0	
12185	Capital Expenditure - Babakin Corrigin Road	Babakin Corrigin Road	564,341	0	0	
	Infrastructure - Oth	ner				
12680	Capital Expenditure - Air Strip Upgrade	Upgrade Pilot Activated Lighting System	336,092	0	0	
12284	Main Street Capital Expense - Infra. Other	Electric Vehicle Charging Station	60,000	0	700	
	Infrastructure - Parks an	nd Ovals				
11397	CREC Playground Capital Expenditure	Replace fencing and gate around playground	9,000	0	0	
11372	Capital Expenditure - Other Recreation Infra. Parks & Ovals	Reticulation Upgrade	400,000	0	0	
		· · ·	4,703,009	20,000	16,600	3

#### 5 DISPOSAL OF ASSETS

		Original Budget					YTD Actual			
Asset		Net Book				Net Book				
Ref.	Asset description	Value	Proceeds	Profit	(Loss)	Value	Proceeds	Profit	(Loss)	
		\$	\$	\$	\$	\$	\$	\$	\$	
	Land and Buildings									
209	Infant Health Clinic, Lynch Street	33,588	45,000	11,412	0	0	0	0	0	
100549	Rockview Homestead (Demolition)	8	0	0	(8)	0	0	0	0	
212	Rotary Park Toilet Block (Demolition)	47,685	0	0	(47,685)	0	0	0	0	
1000780	Granite Rise - 3 Haydon Close	25,000	42,480	17,480	0	0	0	0	0	
1000782	Granite Rise - 5 Haydon Close	25,000	39,600	14,600	0 0	0	0	0	0	
	Plant and equipment									
1001123	2023 Fortuner 2.8I DSL Wagon (4CR)	42,476	30,000	0	(12,476)	0	0	0	0	
1001039	2021 Toyota Kluger AWD GXL (CR1000)	36,425	38,000	1,575	0	0	0	0	0	
100718	2012 Mitsubishi Rosa Bus (1IDK207) (Carryover 23/24)	4,624	25,000	20,376	0	0	0	0	0	
100745	2014 Volvo L90F Loader (CR14) (Carryover 23/24 sold at auction)	94,081	106,364	12,283	0	0	0	0	0	
100596	2006 Hino Two Way Tipper Patching Truck (1HVK241) (Carryover 23/24)	0	45,000	45,000	0	0	0	0	0	
100722	2013 Hino 5 Tonne Tipper Truck (CR4)	0	40,000	40,000	0	0	0	0	0	
1000852	2014 NPR 300 Isuzu Crew Cab Truck (CR16)	0	30,000	30,000	0	0	0	0	0	
10271	2003 Tri Axle Low Loader Trailer (CR2233)	27,984	40,000	12,016	0	0	0	0	0	
1000938	2015 Caterpillar 226B3 Skidsteer Loader (CR13)	2,812	25,000	22,188	0	0	0	0	0	
10054	1998 John Deere 5410 Tractor (CR10)	2,800	15,000	12,200	0	0	0	0	0	
10413	2006 Caterpillar Forklift (CR4030)	6,452	15,000	8,548	0	0	0	0	0	
100489	2007 John Papas Trailer (1THY294)	0	5,000	5,000	0	0	0	0	0	
549	1996 7x5 Tandem Tipper Trailer (CR3246)	0	2,000	2,000	0	0	0	0	0	
1000851	2015 Toyota Hilux Utility (CR565)	0	10,000	10,000	0	0	0	0	0	
1001133	2024 Mitsubishi QF Pajero (1CR)	53,292	45,000	0	(8,292)	0	0	0	0	
1001127	2023 Toyota Prado DSL GXL (CR1)	61,457	56,000	0	(5,457)	0	0	0	0	
				0	0	0	0	0	0	
	Furniture & Equipment									
1000989	Konica Minolta Bizhub Colour Photocopier	4,568	41	0	(4,527)	0	0	0	0	
	Infrastructure - Parks and Ovals			0	0	0	0	0	0	
246		81,000	0	0	(91 000)	0	0	0	0	
240	Oval Reticulation System (New system being installed)	61,000	U	0	(81,000) 0	0	0	0	0	
	Infrastructure - Other			U	U	U	0	U	U	
1001098	Airstrip - PAL radiocontrolled runway lights (New lights being installed)	7,360	0	0	(7,360)	0	0	0	0	
	, , , , , , , , , , , , , , , , , , , ,	556,612	654,485	264,678	(166,805)	0	0	0	0	

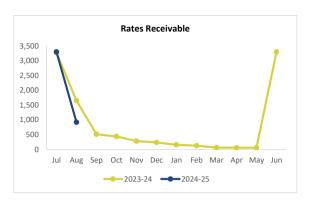


#### **6 RECEIVABLES**

#### Rates receivable

Opening arrears previous years Levied this year Less - collections to date Gross rates collectable Net rates collectable % Collected

30 Jun 2024	31 Aug 2024
\$	\$
68,610	55,159
3,007,711	3,145,054
(3,021,162)	(2,279,071)
55,159	921,142
55,159	921,142
98.2%	71.2%



Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	(16)	18,701	6,356	76,452	1,055	102,548
Percentage	0.0%	18.2%	6.2%	74.6%	1.0%	
Balance per trial balance						
Trade receivables						102,548
GST receivable						45,912
Total receivables general outstanding						157,163

Amounts shown above include GST (where applicable)

#### KEY INFORMATION

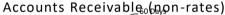
Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business.

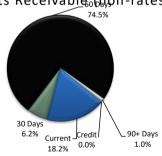
Trade receivables are recognised at original invoice amount less any allowances for uncollectable amounts (i.e. impairment). The carrying amount of net trade receivables is equivalent to fair value as it is due for settlement within 30 days.

#### Classification and subsequent measurement

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.





#### 7 OTHER CURRENT ASSETS

Other current assets	Opening Balance 1 July 2024	Asset Increase	Asset Reduction	Closing Balance 31 August 2024
	\$	\$	\$	\$
Other financial assets at amortised cost				
Financial assets at amortised cost	3,691,345	0	0	3,691,345
Inventory				
Fuel, Oil, & Materials	67,911	11,208	(15,616)	63,503
Land held for resale				
Cost of acquisition	130,000	0	0	130,000
Other assets				
Accrued income	0	0	(200)	(200)
JV Roe ROC	689	0	0	689
JV Roe Health	482	30,838	(14,153)	17,167
JV Bendering Regional Landfill	(1,132)	1,260	(2,836)	(2,708)
Total other current assets	3,889,295	43,306	(32,805)	3,899,796

Amounts shown above include GST (where applicable)

#### **KEY INFORMATION**

#### Other financial assets at amortised cost

The Shire classifies financial assets at amortised cost if both of the following criteria are met:"

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

#### Inventory

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

#### Land held for resale

Land held for development and resale is valued at the lower of cost and net realisable value. Cost includes the cost of acquisition, development, borrowing costs and holding costs until completion of development. Borrowing costs and holding charges incurred after development is completed are expensed.

Gains and losses are recognised in profit or loss at the time of signing an unconditional contract of sale if significant risks and rewards, and effective control over the land, are passed onto the buyer at this point.

Land held for resale is classified as current except where it is held as non-current based on the Council's intentions to release for sale.

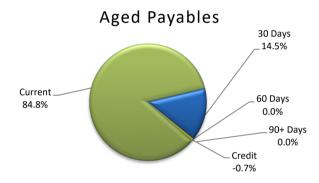
#### **8 PAYABLES**

Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
_	\$	\$	\$	\$	\$	\$
Payables - general	(956)	120,543	20,588	45	0	140,221
Percentage	-0.7%	86.0%	14.7%	0.0%	0.0%	
Balance per trial balance						
Sundry creditors						140,221
ATO liabilities						3,861
Payroll Creditors						38,037
Bonds and Deposits						36
Total payables general outstanding						182,155
Amounts shown above include GST (v	here applicable	)				

#### **KEY INFORMATION**

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the period that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.

The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.

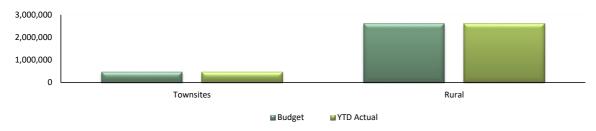


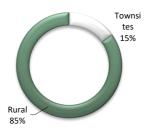
#### 9 RATE REVENUE

General rate revenue					Budget			YTD Actual	
	Rate in	Number of	Rateable	Rate	Reassessed	Total	Rate	Reassessed	Total
	\$ (cents)	Properties	Value	Revenue	Rate Revenue	Revenue	Revenue	Rate Revenue	Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$
Gross rental value									
Townsites	0.094991	418	4,866,401	462,264	5,000	467,264	462,264	634	462,898
Unimproved value									
Rural	0.007506	346	346,442,500	2,600,397	0	2,600,397	2,600,397	0	2,600,397
Sub-Total	_	764	351,308,901	3,062,661	5,000	3,067,661	3,062,661	634	3,063,295
Minimum payment	Minimum Payment	\$							
Gross rental value									
Townsites	490	51	91,772	24,990	0	24,990	24,990	0	24,990
Unimproved value									
Rural	490	27	687,237	13,230	0	13,230	13,230	0	13,230
Sub-total		78	779,009	38,220	0_	38,220	38,220	0	38,220
Amount from general rates						3,105,881			3,101,515
Ex-gratia rates					_	43,539			43,539
Total general rates						3,149,420			3,145,054

#### **KEY INFORMATION**

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.





## SHIRE OF CORRIGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 AUGUST 2024

#### 10 BORROWINGS

#### **Repayments - borrowings**

		Prin	cipal	Princ	ipal	Interest		
Information on borrowings			Repay	ments	Outsta	nding	Repayments	
Particulars	Loan No.	1 July 2024	Actual	Budget	Actual YTD Balance	Budget (Closing Balance)	Actual	Budget
		\$	\$	\$	\$	\$	\$	\$
Community Recreation & Events Centre	102	1,225,411	0	(98,827)	1,225,411	1,126,584	0	(55,726)
Total		1,225,411	0	(98,827)	1,225,411	1,126,584	0	(55,726)
Current borrowings		0			98,827			
Non-current borrowings		1,225,411			1,126,584			
		1,225,411			1,225,411			

All debenture repayments were financed by general purpose revenue.

The Shire of Corrigin has no unspent debenture funds as at 30th June 2024, nor is it expected to have unspent funds as at 30th June 2025.

#### **KEY INFORMATION**

The Shire has elected to recognise borrowing costs as an expense when incurred regardless of how the borrowings are applied.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature.

#### 11 OTHER CURRENT LIABILITIES

Other current liabilities Other liabilities	Note	Opening Balance 1 July 2024 \$	Liability Increase	Liability Reduction \$	Closing Balance 31 August 2024
Grant Funding Income in Adv Rubbish Service Income in Adv Excess Rates Total other liabilities		468,078 0 24,678 492,756	0 229,892 32,448 262,340	0 (20,899) (27,087) (47,986)	468,078 208,993 30,039 707,110
Employee Related Provisions Provision for annual leave Provision for long service leave Total Provisions		132,837 171,852 349,792	0 0 0	0 0	132,837 171,852 349,792
Total other current liabilities		842,548	262,340	(47,986)	1,056,902

Amounts shown above include GST (where applicable)

#### **KEY INFORMATION**

#### **Provisions**

Provisions are recognised when the Shire has a present legal or constructive obligation, as a result of past events, for which it is probable that an outflow of economic benefits will result and that outflow can be reliably measured.

Provisions are measured using the best estimate of the amounts required to settle the obligation at the end of the reporting period.

### Employee Related Provisions Short-term employee benefits

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at th (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current tr and other payables in the calculation of net current assets.

#### Other long-term employee benefits

The Shire's obligations for employees' annual leave and long service leave entitlements are recognised as employee related provisior in the statement of financial position.

Long-term employee benefits are measured at the present value of the expected future payments to be made to employees. Expecte future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for othe long-term employee benefits are recognised in profit or loss in the periods in which the changes occur. The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire doe not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

#### **Contract liabilities**

An entity's obligation to transfer goods or services to a customer for which the entity has received consideration (or the amount is due) from the customer.

#### Capital grant/contribution liabilities

Grants to acquire or construct recognisable non-financial assets to identified specifications be constructed to be controlled by the Shire are recognised as a liability until such time as the Shire satisfies its obligations under the agreement.

## SHIRE OF CORRIGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 AUGUST 2024

#### 12 GRANTS, SUBSIDIES AND CONTRIBUTIONS

	Unspent grant, subsidies and contributions liability Increase in Decrease in Current				Grants, subsidies and contributions revenue Adopted			
Provider	Liability	Liability	Liability	Liability	Liability	Budget	YTD	YTD Revenue
	1 July 2024		(As revenue)	31 Aug 2024	31 Aug 2024	Revenue	Budget	Actual
	\$	\$	\$	\$	\$	\$	\$	\$
Grants and subsidies								
General Purpose Funding								
Local Government Financial Assistance Grant - General Purpose	0	0	0	0	0	63,647	10,606	48,846
Local Government Financial Assistance Grant - Roads	0	0	0	0	0	42,901	7,150	20,300
Law, Order, & Public Safety								
DFES Local Government Grants Scheme (LGGS)	0	0	0	0	0	111,000	18,500	22,658
DFES Mitigation Grant	0	0	0	0	0	203,820	71,000	70,585
					0			
Education & Welfare					0			
DPIRD CRC Grant	0	0	0	0	0	106,237	17,706	27,631
CRC Miscellaneous Funding	0	0	0	0	0	5,000	832	0
Transport								
Main Roads Direct Grant	0	0	0	0	0	254,622	254,622	254,622
	0	0	0	0	0	787,227	380,416	444,642
Contributions								
Education & Welfare								
CRC Wage Offset	0	0	0	0	0	500	0	0
Recreation & Culture								
2024 Community Donations - Park Party	0	0	0	0	0	2,500	416	0
	0	0	0	0	0	3,000	416	0
TOTALS	0	0	0	0	0	790,227	380,832	444,642

Capital grants, subsidies and

#### **SHIRE OF CORRIGIN SUPPLEMENTARY INFORMATION** FOR THE PERIOD ENDED 31 AUGUST 2024

#### 13 CAPITAL GRANTS, SUBSIDIES AND CONTRIBUTIONS

					Capital grants, subsidies and			
	Capital grant/contribution liabilities				contributions revenue			
		Increase in	Decrease in		Adopted		YTD	
	Liability	Liability	Liability	Liability	Budget	YTD	Revenue	
Provider	1 July 2024		(As revenue)	31 Aug 2024	Revenue	Budget	Actual	
	\$	\$	\$	\$	\$	\$	\$	
Health								
			_					
Local Roads and Community Infrastructure - Wellness and Medical Centre	0	81,600	0	81,600	136,000	22,666	0	
Education & Welfare								
FRRR - In a Good Place - Mens BBQ Workshop	0	0	0	0	7,000	0	0	
Transport								
Regional Road Group	0	0	0	0	506,934	0	0	
Roads to Recovery	0	0	0	0	565,846	0	0	
Wheatbelt Secondary Freight Network	21,435	0	0	21,435	575,327	0	0	
Regional Bicycle Network - 23/24 Final Payment Due	0	0	0	0	25,275	25,275	0	
Miscellaneous Funding - LRCI Road Funding Allocation	0	163,388	0	163,388	272,313	45,384	0	
Local Community Infrastructure & Road Program - Airstrip Lighting Project	0	201,655	0	201,655	336,092	56,014	0	
Economic Services								
Drought Communities Programme (Final Payment due in 22/23 FY)	0	0	0	0	192,351	192,351	192,351	
Charge Up Workplace Grant - EV Charger	0	0	0	0	34,705	5,784	0	
	21,435	446,643	0	468,078	2,651,843	347,474	192,351	

## SHIRE OF CORRIGIN SUPPLEMENTARY INFORMATION FOR THE PERIOD ENDED 31 AUGUST 2024

#### **14 TRUST FUND**

Funds held at balance date which are required by legislation to be credited to the trust fund and which are not included in the financial statements are as follows:

Description	Opening Balance 1 July 2024	Amount Received	Amount Paid	Closing Balance 31 Aug 2024
	\$	\$	\$	\$
Community Funds Held	92,709	0	0	92,709
Edna Stevenson Educational Trust	825,744	783	(4,849)	821,678
Police Licensing	4,896	60,223	(62,986)	2,133
Westrail Bus Ticketing	82	158	(113)	127
BCITF	0	0	0	0
	923,431	61,164	(67,948)	916,646



# WALGA Annual General Meeting Agenda

Wednesday, 9 October 2024 2:30pm

Perth Convention and Exhibition Centre 21 Mounts Bay Road, Perth WA

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#### 1 OPENING

#### 2 RECORD OF APOLOGIES

• Shire of Dowerin

#### 3 ANNOUNCEMENTS

#### 4 ADOPTION OF AGM ASSOCIATION STANDING ORDERS

The Annual General Meeting Association Standing Orders are contained within this Agenda (<u>Attachment 1</u>).

#### **MOTION**

That the Annual General Meeting Association Standing Orders be adopted.

#### 5 CONFIRMATION OF PREVIOUS MINUTES

The Minutes of the 2023 WALGA Annual General Meeting are contained within this Agenda (<u>Attachment 2</u>), along with a report on the action taken on the 2023 AGM resolutions (<u>Attachment 3</u>).

#### **MOTION**

That the Minutes of the 2023 WALGA Annual General Meeting be confirmed as a true and correct record of proceedings.

#### 6 ADOPTION OF ANNUAL REPORT

The 2023-2024 Annual Report, including the 2023-2024 Audited Financial Statements, will be distributed to Members separately.

#### **MOTION**

That the 2023-2024 Annual Report, including the 2023-2024 Audited Financial Statements, be received.

#### 7 CONSIDERATION OF EXECUTIVE AND MEMBER MOTIONS

## 7.1 AMENDMENTS TO THE CAT ACT 2011 - ALLOW LOCAL GOVERNMENTS TO MAKE LOCAL LAWS TO CONTAIN CATS TO THE OWNER'S PROPERTY

Two Local Governments have submitted items on this matter. In accordance with WALGA's criteria for motions, when motions of a similar objective are received, they are to be consolidated.

#### **CONSOLIDATED MOTION**

That WALGA advocate to the State Government to make changes to the *Cat Act 2011* to permit local laws to be made to the following effect:

- 1. Cats are to be confined to the cat owner's residence premises;
- 2. Cats within public places are to be under effective control and not to create a nuisance:
- 3. Cats are not allowed on other private properties where the cat does not have the expressed permission of the occupier of that premises, and are not to create a nuisance;
- 4. Cats are prohibited from ecologically sensitive areas designated as Cat Prohibited Areas by Absolute majority of Council, and clearly demarcated as such on a sign displayed at the area, without the need to modify the local law.

#### SHIRE OF ESPERANCE SUBMISSION:

#### **MOTION**

That WALGA request the State Government make changes to the *Cat Act 2011* to allow Local Governments to make local laws to contain cats to the owner's property.

#### **IN BRIEF**

- The Cat Act 2011 prohibits Local Governments to make a local law to prohibit a cat from wandering.
- Cats do a significant amount of damage to wildlife when left to wander.
- Wandering domestic cats add to the breeding of feral cats.

#### **MEMBER COMMENT**

The Joint Standing Committee on Delegated Legislation has advised the Shire of its reasons why a Local Government cannot create a local law to deal with wandering cats or cats that are creating a nuisance.

Local Governments are therefore unable to enact local laws to effectively deal with cats to meet the expectations of the community due to inconsistencies with the *Cat Act 2011*.

Amendments therefore need to be made to the *Cat Act 2011* to allow the effective management of cats.

#### SECRETARIAT COMMENT

The Motion generally aligns with current <u>WALGA advocacy</u> in relation to a review of the *Cat Act 2011*:

That the Local Government sector advocates for a commitment from the State Government...to prioritise reforms to the Cat Act 2011, in accordance with the Statutory Review undertaken and tabled in the State Parliament on 27 November 2019.

The 2019 Review included proposals that penalties should be incurred when cats wander/trespass on property without consent or cats should be confined to their property.

#### SHIRE OF DARDANUP SUBMISSION

#### **MOTION**

That WALGA develop a model Cat Local Law in consultation and agreement with the Department of Local Government, Sport and Cultural Industries, the Joint Standing Committee on Delegated Legislation and the WA Cat Feral Working Group that provides for the following:

- 1. Cats are to be confined to the cat owner's residence premises, unless under effective control:
- 2. Cats within public places are to be under effective control and not to create a nuisance at all times;
- 3. Cats are not allowed on other private properties where the cat does not have the expressed permission of the occupier of that premises, and are not to create a nuisance;
- 4. Cats are prohibited from ecologically sensitive areas designated as Cat Prohibited Areas by Absolute Majority of Council, and clearly demarcated as such on a sign displayed at the area, without the need to modify the local law.

#### **IN BRIEF**

- The Shire of Dardanup attempted to bring its local law in line with that of other Local Governments where provisions have been included that expressly require cat owners to have effective control of their cats, and that makes it an offence for a cat to be in other places, where the occupier of that place has not given approval.
- The Joint Standing Committee on Delegated Legislation considered the Shire of Dardanup Cats Local Law 2023 and outlined that the Committee believed the proposed local law is contrary to the Cat Act 2011.
- Within Western Australia there are a number of Local Governments that have Cat Local Laws that require cats to be under effective control when in a public place. Some of these Cat Local Laws also make it an offence for a cat to be in a place, other than a public place, without the express permission of the occupier of that place. These local laws also require cats not to create a nuisance in either a public place, or other places
- WALGA's support for the development of a model Cat Local Law that incorporates
  these provisions as standard provisions are sought so as to ensure this is accepted
  in advance by the Department of Local Government, Sport and Cultural Industries
  and the Joint Standing Committee on Delegated Legislation

#### MEMBER COMMENT

The Shire of Dardanup in 2022 attempted to bring its local law in line with that of other Local Governments where provisions have been included that expressly require cat owners to have effective control of their cats, and that makes it an offence for a cat to be in other places, where the occupier of that place has not given approval.

At its meeting of 25<sup>th</sup> of January 2023, the Shire of Dardanup resolved [09-23] as follows:

#### THAT Council:

- 1. In accordance with Section 3.12 of the Local Government Act 1995 approves the advertising of the proposed 'Shire of Dardanup Cats Local Law 2023' [Appendix ORD: 12.4.2C] in order to seek community comment.
- 2. Provides a copy of the proposed Local Law and public notice to the Minister for Local Government; and
- 3. After the close of the public consultation period, requests the Chief Executive Officer to submit a report on any submissions received on the proposed Local Law to enable Council to consider the submissions made and to determine whether to make the Local Law in accordance with section 3.12(4).

The Local Law was advertised, and no public submissions were received. A Submission from the Department of Local Government, Sport and Cultural Industries were received and considered by Council in November 2023. Council resolved [273-23] as follows:

#### THAT Council:

- 1. Receives the submission received from the Department of Local Government, Sport and Cultural Industries in respect of the Shire of Dardanup Cats Local Law 2023.
- 2. Notes that there were no public submissions received in respect of the Shire of Dardanup Cats Local Law 2023.
- 3. By Absolute Majority decision, adopts the Shire of Dardanup Cats Local Law 2023 [Appendix ORD: 12.4.1D] inclusive of the following minor amendments:
  - Clause 1.1: Citation changed to italics;
  - Clause 1.4: Changed both the citation title and "Government Gazette" to italics.;
  - Clause 1.5: In the definition of Act, changed the citation to italics;
  - The words ", in the opinion of an authorised person," deleted from Clause 2.1(1); Clause 2.2(1)(b) and Clause 2.4(2).
  - Clause 3.1(1) Amended to give clarity that the Shire acknowledges the local law process in the designation of cat prohibited areas by adding the words "after following the process for amending a local law pursuant to the Local Government Act." after the words 'Schedule 3';
  - Clause 4.8 Conditions amend subclause (1)(a) to read: (a) each cat kept on the premises to be kept so as not to create a nuisance; and
  - Clause 4.8 Conditions deletes subclause (1)(b) that read "(b) that the premises must be adequately fenced (and premises will be taken not to be adequately fenced if there is more than one escape of a cat from the premises);"; and renumber the following subclauses accordingly.
- 4. Publishes a copy of the adopted local law in the Government Gazette.
- 5. Gives a copy of the adopted gazette ready Local Law to the Minister for Local Government.

- 6. After the local law has been published in the Gazette, gives local public notice as per section 1.7 of the Local Government Act 1995 advising:
  - The title of the local law;
  - Summarizing the purpose and effect of the local law;
  - Specifying the day on which the local law comes into operation; and
  - Advising the location of copies of where the local law may be inspected or obtained.
- 7. Supplies copies of the local law, Explanatory Memorandum, Statutory Procedures Checklist and other supporting material in accordance with Ministerial Directions, to the WA Parliament's Joint Standing Committee on Delegated Legislation within 10 working days of the gazettal publication date of the local law.

The Joint Standing Committee in Delegated Legislation (the Committee) considered the Shire of Dardanup Cats Local Law 2023 at its meeting held 13<sup>th</sup> of March 2024 and outlined that the Committee believed the proposed local law is contrary to the *Cat Act 2011*. The Committee therefore requires that Council agree to undertaking amendments to the Local Law at its meeting on 27<sup>th</sup> of March 2024 and by 3<sup>rd</sup> of April 2024.

The Committee requests the following undertakings:

- 1. Within 6 months:
  - delete the definition of **effective control** in clause 1.5
  - delete clause 2.2
  - amend clause 4.4(f) to ensure it is not inconsistent with the Cat Act 2011
  - correct the typographical error in the clause reference beneath the heading to Schedule 3.
- 2. All consequential amendments arising from undertaking 1 will be made.
- 3. Clauses 2.2 and 4.4(f) will not be enforced in a manner contrary to undertaking 1.
- 4. Where the local law is made publicly available by the Shire, whether in hard copy or electronic form, ensure that it is accompanied by a copy of the undertaking.

Whilst Council in March resolved to undertake the changes required by the Committee, Council in July 2024 when presented with the amendment local law, did not initiate the making of the amendment local law.

Officers have written to the Committee, providing it with the outcome of the Council decision. At the time of writing this report the Committee's response had not yet been received.

There are no direct legal implications of seeking WALGA form a position on the local law, however, should the motion be successful and WALGA is able to convince the State Government of the merits, then the motion may lead to possible changes to State Government Policy and Legislation.

#### Cat Act 2011

The authority for a Local Government to create a local law under the *Cat Act 2011* is provided in section 79 of the *Cat Act 2011*. The *Cat Act 2011* sets out the requirements inter alia for registration and sterilisation of cats, as well as the requirements for cat management

facilities. The Cat Regulations 2012 set out the requirements for cats to be microchipped and registered, as well as the approval requirements for cat breeders.

In the paragraphs that follow, the Shire of Dardanup will not name any of these Local Governments that have Cat local laws in place, so as to not dob these Local Governments in with the Joint Standing Committee on Delegated Legislation (the Committee). The Shire understands that the Committee may require those Local Governments that have local laws with such provisions, to amend these local laws in future, in order to ensure it is in line with the Committee's direction as given to the Shire of Dardanup. For that reason, this report will refer more broadly to other Local Governments within Western Australia that have such local laws.

Within Western Australia there are a number of Local Governments that have Cat Local Laws that require cats to be under effective control when in a public place. Some of these Cat Local Laws also make it an offence for a cat to be in a place, other than a public place, without the express permission of the occupier of that place. These local laws also require cats not to create a nuisance in either a public place, or other places. There are also Property and Public Places Local Laws, that allow Council's to make designations of areas, by absolute majority and to erect a sign to give effect to such designations.

These provisions seem sensible and require that a cat cannot simply go onto someone else's private property without their permission, that cats are under effective control in public places and are prohibited from entering areas of sensitive ecological values. The WA Feral Cat Working Group provided the Shire of Dardanup with an information sheet with reference to existing Cat Local Laws (names of Local Governments redacted), and a legal opinion received from Castledine Gregory in relation to this. This also includes reference to the WA Labor Party's party Platform for 2023.

WALGA's support for the development of a model Cat Local Law that incorporates these provisions as standard provisions are sought so as to ensure this is accepted in advance by the Department of Local Government, Sport and Cultural Industries and the Joint Standing Committee on Delegated Legislation. By doing this, it will save a lot of frustration for Local Governments having to go through a local law development and/or review process and will also ensure that adequate provisions to control cats are included in the local law. This will assist greatly in dealing with complaints from residents in relation to the nuisances caused by cats and will also assist greatly in enforcement efforts by Local Government rangers.

#### SECRETARIAT COMMENT

Many Local Governments have made Cat Local Laws prohibiting cats from being on land under the care, control and management of the Local Government, as currently provided for under the *Cat Act 2011*.

It is established through numerous disallowance motions by Parliament's Delegated Legislation Committee that the *Cat Act 2011* does not provide the requisite heads of power for a Local Government to make Cat Local Laws requiring cats to be confined to the owner's residence or being prevented from roaming in any public place throughout the district.

Although not currently achievable, the intent of this Motion can be considered upon successful advocacy for a review of the *Cat Act 2011* and provision of the necessary heads of power that allow Cat Local Laws to prevent cats from wandering.

#### 7.2 ADVOCACY FOR LEGISLATIVE REFORMS TO COUNTER LAND-BANKING

Town of Bassendean to move:

#### MOTION

#### That WALGA:

- In line with its 2020-2025 Strategic Plan to provide a Sector Vision that enables Local Governments to be agile enhancing community wellbeing and economic prosperity, develops a draft Advocacy Position for Legislative Reforms to address Land-Banking practices including, but not limited to consideration of the following:
  - a. Prohibiting demolition of habitable housing until a Development Application (DA) has been approved;
  - b. development applications that result in the demolition of existing habitable housing be time limited so that reasonable time periods for project commencement and project completion are conditions of the development application.
  - c. provide Local Authorities with the ability to apply a "penalty fee" over and above any differential rating on vacant land, where the time conditions on the development application in (b) have not been met.
  - d. Development of a mandatory register of unoccupied residential properties, with the ability of Local Governments to apply rates or levies on long term unoccupied residential properties, which could increase incrementally over time.
- 2. Distributes the draft "WALGA Advocacy Position for Legislative Reforms to counter Land-Banking" to all West Australian Local Authorities for comment, and that a subsequent report be provided for consideration by WALGA Zones.

#### **IN BRIEF**

- Land-banking reduces the availability of sites for development.
- Premature demolition of viable housing is unacceptable in what is a dire housing shortage for this nation.
- Additional legislative changes are required to enable Local Authorities the flexibility to apply additional levies to long term unoccupied housing.

#### MEMBER COMMENT

The Victorian Government recently introduced the ability to tax long term unoccupied residential properties (i.e. a residential property left vacant for six months or more in a year). Victorian Councils welcomed these changes to "Vacant Residential Land Tax" (VRLT) emphasising that it is a significant step forward in addressing longstanding land-banking issues that plague many municipalities.

Tighter controls that prevent the demolition of viable housing stock prior to Development Approvals (DA) assists in closing a loophole, that has to date, increased the numbers of long term unsightly vacant blocks negatively affecting the amenity of suburbs and towns. The introduction of a levy on long term unoccupied residential homes is designed to encourage occupation or rental of those homes. In turn DA approvals that subsequently require the demolition of viable housing stock should require commencement and completion of the new development within reasonable timelines.

This will alleviate the strain on the housing market by avoiding premature demolition with the intention to retain viable housing for occupancy for as long as possible, leading to a positive impact on rental availability and affordability. All of this can be accomplished without negatively affecting the development potential of a site.

#### **Reference Documents**

Link to media "New legislation to boost housing supply and combat land-banking" by Shire of Maribyrnong: <a href="https://www.maribyrnong.vic.gov.au/News/New-legislation-to-boost-housing-supply-and-combat-land-banking">https://www.maribyrnong.vic.gov.au/News/New-legislation-to-boost-housing-supply-and-combat-land-banking</a>.

Link to media "How the world is tackling issue of empty homes" by The Guardian: <a href="https://www.theguardian.com/society/2017/aug/02/how-the-world-is-tackling-issue-of-empty-homes">https://www.theguardian.com/society/2017/aug/02/how-the-world-is-tackling-issue-of-empty-homes</a>.

#### SECRETARIAT COMMENT

#### Part 1a and 1b

Under Schedule 2 Clause 61 (1) of the Planning and Development (Local Planning Scheme) Regulations 2015 (LPS Regulations) the demolition of a single house, and any associated structure, are exempt from requiring development approval, unless the proposal is located in a heritage-protected place. Further demolition works are regulated by the *Building Act 2011* and the Building Regulations 2012, and thus the removal of a dwelling would require the issuance of a building permit before demolition is undertaken. Local Governments as permit authorities are required to issue building permits within statutory timeframes. There are limited reasons why a Local Government can refuse to issue a building permit, including where the necessary development approval has not been issued. The proposal outlined in the Town of Bassendean's motion would require amendments to both the planning and building regulatory frameworks.

It should also be noted that under the LPS Regulations and State Planning Policy 3.1 Residential Design Codes (SPP3.1) most proposals for single houses are also exempt from requiring development approval. Most proposals for grouped and multiple dwellings do require development approval.

Local Governments are able to limit the validity period of a development approval and a building permit, with substantial commencement being required before the expiry date to ensure the ongoing validity of the approval. Common lengths of approval are 24 and 48 months.

#### Part 1c

The LPS Regulations Schedule.2, cl.71 provides that an approved development must be substantially commenced...if no period is specified in the approval, within the period of two years commencing on the date the determination is made <u>or</u> the period specified <u>or</u> as approved, with the approval lapsing if development is not substantially commenced within the determined period.

Part (c) of the proposal, appears to seek a modified penalty to be prescribed in Planning and Development Regulation 42, enabling an infringement notice to be issued, where residential development is not substantially commenced before expiry of the approval period.

It should be noted that if the time period for commencement of development expires, the approval expires and the development application process would need to restart if the developer so chooses to proceed. Applying a penalty to an expired application would likely require amendments to the LPS Regulations and potentially the *Planning and Development Act 2005*. The modified penalty under the planning framework is currently set at \$500.

#### Part 1d

#### Proposal for mandatory register of unoccupied residential properties

Implementing the proposed register would require legislative amendment and regulatory provisions to enable collection of evidence that a habitable residential property is unoccupied continually for a prescribed period, to inform entry of a property into the register.

<u>Proposal for application of a differential rate to residential improved and long-term unoccupied properties</u>

- Local Government Act section 6.33(1)(b) already enables a differential rate to be levied for a purpose for which the land is held <u>or used as determined by the Local Government</u> e.g. Some Local Governments currently levy a differential rate for "residential improved and vacant" property.
- It is unclear if section 6.33 provisions can be interpreted as enabling Local Government to levy scaled differential rates applicable to specified timeframes that an improved residential property has been unoccupied. This may require confirmation from the Department of Local Government, Sport and Cultural Industries subject to advice from the State Solicitor's Office. If section 6.33 cannot be interpreted to enable this, then a legislative amendment would be required.

<u>Proposal for a "levy" to be applied to long term unoccupied residential properties</u>. Local Government Act section 6.16 limits Local Government imposition of fees and charges to goods or services provided the Local Government.

This proposal intends a penalty for long-term unoccupied residential property, which under written law would require legislative amendment to create an offence and prescribe a modified penalty / court proceedings.

7.3 ADVOCACY FOR EXPANSION OF DIFFERENTIAL RATING TO INCLUDE LONG TERM UNOCCUPIED COMMERCIAL BUILDINGS (PROPERTY ACTIVATION LEVY)

Town of Bassendean to move:

#### **MOTION**

#### That WALGA:

- 1. Explores expanding Item 2.1.8 Differential Rates of its Advocacy Position Statement to consider inclusion of the following:
  - a. Advocating for Local Authorities to have the ability to apply a differential rate to long term unoccupied commercial buildings; and
  - b. Developing legislation that requires commercial property owners to demonstrate that in order to avoid the imposition of a differential rate on unoccupied commercial property the property;
    - i. is commercially habitable with annual investment in maintenance
    - ii. remains connected to essential services
    - iii. is undergoing periodic compliance checks and,
    - iv. has a plan in place to redevelop or make operational.
  - c. Develop legislation that enables Local Government to provide exemptions to the above differential rating based on an approved periodic activation program for the vacant commercial property by the Local Government.
- 2. Distributes the draft expanded WALGA Advocacy Position for Differential Rates to counter long term unoccupied commercial buildings to all West Australian Local Authorities for comment, and that a subsequent report be made available for consideration by WALGA Zones.

#### MEMBER COMMENT

The Northern Territory Government enabled Darwin to apply a "*Property Activation Levy*" to address long term vacant land or unoccupied commercial buildings, endeavouring to activate or beautify properties that generally have a negative impact the overall amenity and vibrancy of streetscapes. The Property Activation Levy incorporates the following:

- Owners of unoccupied commercial property are provided a reasonable grace period to activate their property without incurring the levy.
- Any property meeting the minimum number of listed activation options does not incur the surcharge levy applicable only to long term unoccupied commercial buildings.
- Revenue raised from the Property Activation Levy, is used on revitalisation projects of public places and land.

The purpose of the property activation levy is to encourage owners of unoccupied commercial buildings to activate and maintain their properties to improve commercial precincts with a focus on the following objectives:

- To improve the amenity of commercial precincts for residents, workers and visitors / tourists.
- Support adjoining business operators by encouraging activation of all commercial premises within precincts.
- Improve the liveability, attractiveness, safety and cultural activity of these precincts.
- Encourage the commercial precincts to thrive.

Some of the suggested activation (that must include ongoing maintenance) for unoccupied commercial premises are listed below, noting this list is not exhaustive:

- Inset graphics, art displays or other visual installations on ground level external windows and walls.
- Repaint or retile and improve ground level frontage and associated awnings over the footpath.
- Include rotating shop displays (for example Christmas, Easter, local events) or community spaces, such as for group activities, classes or study areas.
- Where setback from the road reserve exists, undertake improved landscaping.

#### **Reference Documents:**

Link to the "Property Activation Levy" document is below, and outlines a diverse number of suggested options for the activation and beautification of vacant land or unoccupied mixed use premises: <a href="https://treasury.nt.gov.au/">https://treasury.nt.gov.au/</a> data/assets/pdf\_file/0010/901495/derelict-vacant-property-levy.pdf.

#### SECRETARIAT COMMENT

WALGA's Advocacy Position 2.1.8 Differential Rates is below:

Position Statement Section 6.33 of the Local Government Act 1995 should be

reviewed in contemplation of time-based differential rating,

to encourage development of land.

Background Concern at the amount of vacant land remaining in an

undeveloped state for an extensive period of time and

holding up development opportunities.

Local Government Act section 6.33(1)(b) already enables a differential rate to be levied for a purpose for which the land is held <u>or used as determined by the Local Government</u> e.g. Some Local Governments currently levy a differential rate for "residential improved and vacant" property. This can be extended to "commercial improved" and "commercial undeveloped".

#### 7.4 ACTION ON ASBESTOS FOR WESTERN AUSTRALIA

Shire of Dundas to move:

#### **MOTION**

That WALGA advocates for the state and federal governments to take urgent action to assist Local Governments and their communities in safely removing asbestos, including providing targeting funding programs and support for regional areas.

#### **IN BRIEF**

- The Asbestos Safety and Eradication Agency (ASEA) has released its 2024-2030
   Strategic Plan, which identifies the need to take action to save lives, as asbestos materials are degrading, increasing the risk they pose.
- The approach to asbestos is unlikely to change unless Local Governments and their communities, particularly in regional areas, are provided with additional funding and support.

#### MEMBER COMMENT

The Asbestos Safety and Eradication Agency (ASEA) <u>2024-2030 Strategic Plan</u> identifies, more than in previous plans, the risk posed by the increasing degradation of asbestos and the need for action. State governments are currently considering the plan, but any adoption of the plan must be supported by additional funding and support from Local Governments and their communities.

There are a range of ways that asbestos management impacts Local Governments. In <u>WALGA's Submission</u> on the ASEA Strategic Plan, it was identified:

Asbestos management is an ongoing and increasing challenge for Local Government, particularly asbestos management during and following emergency events, illegal disposal of asbestos into the environment through Local Government services, and the regulation of the asbestos removal industry.

Local Governments in regional and remote areas face additional significant and complex challenges, including the limited availability and cost of suitably qualified contractors, large areas of asbestos contaminated land requiring remediation and limited ability to fund asbestos removal and communities where property with asbestos is under, or not, insured.

A whole government package of support and funding is needed to address this issue and ensure that communities are not impacted and that asbestos is removed and not just managed through legislation.

The Asbestos National Strategic Plan (ANSP) for the 2024-2030 consultation aims to address the pressing issue of asbestos-related diseases in Australia. However, the current focus of the consultation is primarily on compliance rather than actively pursuing the funding and comprehensive removal of asbestos, which is crucial for safeguarding public health.

Australia grapples with one of the highest rates of mesothelioma globally, primarily caused by asbestos exposure. Western Australia faces a higher incidence rate of mesothelioma compared to other regions, emphasising the urgency of effective asbestos management.

The ANSP endeavours to enhance asbestos awareness and promote its safe management, removal, and disposal nationwide; it is all compliance-based. It aims to eliminate asbestos-related diseases through collaboration between the Australian government, states, and territories. The plan's key objectives include eradicating asbestos-related diseases, supporting affected individuals, and advocating for a global ban on asbestos production and trade.

To implement the ANSP for 2024-2030, the Asbestos and Silica Safety and Eradication Agency (ASSEA) seeks endorsement from states and territories, including Western Australia. Should Western Australia endorse the plan, a jurisdictional action plan aligned with the ANSP would be devised to address state-specific priorities and challenges.

However, the current consultation lacks a strong emphasis on funding and actively pursuing asbestos removal to improve the ANSP and ensure a more comprehensive approach; it's imperative to advocate for increased funding and prioritise the active removal and safe disposal of asbestos across affected areas of Western Australia.

#### **SECRETARIAT COMMENT**

The ASEA Strategic Plan has identified an increasing need to take action on asbestos. As the material degrades over time there is an increasing human health risk and costs associated with removal escalate. As identified in the AGM item, WALGA's recent <a href="Submission">Submission</a> on the ASEA Strategic Plan noted that Asbestos management is an ongoing and increasing challenge for Local Governments, particularly in regional areas, and additional focus is needed. The approach of providing targeted funding and support would assist regional Local Government to address issues such as limited availability and cost of suitably qualified contractors and ability to fund asbestos removal.

## 7.5 ADDRESSING THE IMPRACTICALITY OF LOCAL GOVERNMENTS FUNDING DEPARTMENT OF COMMUNITIES AND GOVERNMENT REGIONAL OFFICER HOUSING

Shire of Dundas to move:

#### **MOTION**

That WALGA advocates to the State Government for the State Government to fully fund Department of Communities (Social) and Government Regional Officer Housing.

#### **IN BRIEF**

- Housing Funding Impracticality: Local Governments face impracticalities in funding housing due to the extra budgetary constraints then placed on the Local Government.
- Financial Risk: Investment in providing housing can be risky over the long term due the
  volatility of the housing market (particularly in areas where mining is the predominant
  industry) and the constraints placed on Local Governments that are borrowing money to
  fund these builds.
- State Responsibility: Housing should be funded through state taxes and mining royalties, not Local Government budgets.

#### **MEMBER COMMENT**

All remote and regional Local Governments face challenges in attracting and retaining staff which is also true of State Govt Depts, such as Police and the Education Dept. The provision of good housing is critical in attracting staff to these areas. Any Local Governments that are exposed to the boom-bust cycle of mining, face significant challenges related to the funding and provision of the Department of Community and Government Regional Officers' Housing (GROH). The volatile boom and bust cycles of the mining industry creates an even more financially risky environment for Local Governments to invest in housing. Most remote and regional Local Government areas are smaller and have the least capacity to raise funding through rates due their smaller population bases. Budgets are already stretched to provide community infrastructure for these communities.

- Boom and bust cycles in resource-dependent communities: The mining industry is
  inherently volatile, with periods of rapid growth (booms) followed by significant
  downturns (busts). This cycle profoundly affects local economies and property
  values. When Local Governments invest in housing during a boom, they face the risk
  of property values plummeting during a bust. Currently, the nickel crisis is an
  example of how quickly and severely property values can decline, leaving Local
  Governments with significant financial losses and underutilized assets.
- Impractical Investment: Local Governments are not in a position to absorb the financial risks associated with building houses with a long-term, 'lease back' agreement to recover their investment. Housing investments should be stable and predictable, (which is not the case in resource-dependent communities). If smaller Local Governments are seeking to borrow funds for these builds, they are then denied an opportunity to borrow for other community infrastructure projects that may be more of a local priority.
- State Responsibility: The function to supply and maintain Department of Communities and GROH housing in remote communities is a State Govt responsibility and should be funded through state taxes and royalties.

All remote and regional Local Governments urge WALGA to advocate for the State government to fully fund construction and maintenance of Department of Communities and GROH housing. Local Governments should not bear the financial risks associated with the provision of social and State agency housing. Funding of this housing by Local Governments impacts their sustainability and ability to fund their core responsibilities for their communities such as, asset management, staff retention, and roads.

#### SECRETARIAT COMMENT

The GROH Program provides housing for public sector employees providing essential services in regional and remote locations to attract and retain staff. The Department of Communities uses partnerships to increase supply of GROH housing in addition to its own capital investment and refurbishment programs. Partnerships include build to lease agreements, which Local Governments are eligible to apply to. The Department of Communities also provides subsidised rental accommodation to eligible low-income households across Western Australia commonly referred to as public or social housing. Public housing is owned and managed directly by the Department of Communities. Social housing can be owned and or maintained by a third party, typically Community Housing Providers.

In a 2024 WALGA survey, 100 percent of respondents viewed housing as a major challenge in their Local Government area and 64 percent stating that the lack of Government Regional Officer Housing (GROH) housing is "very challenging" or "extremely challenging".

Housing supply continues to be a priority issue for both the Australian and State Government. The Australian Government's 2024-2 budget included an additional \$1 billion to states and territories to deliver new housing including for connecting essential services such as water, power, sewerage and roads. This investment underpins the Federal Government commitment to increasing housing supply through the National Housing Accord, Housing Australia Future Fund and Social Housing Accelerator initiatives. The WA Government committed an additional \$43.8 million to the GROH program in the 2024-25 State Budget. The State budget also included \$400 million to expand the Social and Affordable Housing Investment Fund and \$179 million for maintenance of existing social and GROH housing.

WALGA is advocating for the State Government to work with the Local Government sector on the delivery of these investments, including ensuring member views are considered in relation to critical housing need. WALGA's 2025 State Election platform calls for State Government to create a comprehensive long-term strategy to address the entrenched shortage of social, affordable and key worker housing and to undertake a review of the GROH program to improve coordination and responsiveness to regional housing needs and provide Local Government's with greater scope to invest in GROH housing.

#### 7.6 ADVOCACY FOR ACCESSIBILITY

Town of Victoria Park to move:

#### **MOTION**

That WALGA develops an Advocacy Position calling for the WA Government to adopt the Liveable Housing Design Standards for accessibility as part of the National Construction Code, consistent with WALGA's 2020-2025 Strategic Plan Sector Vision to enable inclusive Local Governments enhancing community wellbeing and economic prosperity.

#### **IN BRIEF**

- Advocacy for adoption of National Construction Code minimum accessibility standards
- Australia should have national building standards guaranteeing new homes have access for all abilities.
- WALGA should develop a policy to reflect its organisation commitment to accessibility, including but not limited to ensuring any venues WALGA utilises for its services or events have universal accessibility entry points (and are not dependent on one accessible entry point).

#### **MEMBER COMMENT**

Advocacy for adoption of National Construction Code minimum accessibility standards:

- Several years ago, at the direction of Commonwealth and State Ministers, the Australian Building Codes Board (ABCB) undertook a rigorous consultation process with experts and stakeholders to develop minimum accessibility requirements for Class 1a buildings (houses) and Class 2 sole-occupancy units (apartments) in the National Construction Code (NCC). The objective was to ensure that housing is designed to meet the needs of the community, including those with disability and older Australians.
- In 2021, minimum accessibility provisions were introduced for residential housing and apartments into the NCC based on Liveable Housing Design Guidelines (LHDG) silver standards.
- The NCC 2022 has seven minimum standards ensuring all new homes are accessible, with modifications including step-free entrances and showers, and wider doors and corridors that can accommodate wheelchairs and walking aids.
- The 2023 Disability Royal Commission Report recommended that all states and territories should adopt the minimum LHDG standards as soon as possible.
- In 2024, the ABCB has estimated that the additional cost to implement the minimum accessible design standards is between \$2,900 and \$4,400 per home, depending on the type of dwelling. The features covered by the LHDG standards are not a big ask and our communities will end up with better quality housing that is future-proof.
- To date, the WA Government, along with NSW, are the only states who have not adopted the NCC minimum LHDG silver standards.

#### SECRETARIAT COMMENT

The National Construction Code (NCC) is a uniform set of technical provisions for the design and construction of buildings and other structures, and plumbing and drainage systems throughout Australia.

The NCC is produced and maintained by the Australian Building Codes Board (ABCB) on behalf of the Commonwealth and all State and Territory government and is given legal effect through legislation at the state and territory level. The NCC is reviewed every 3 years, based on required regulatory practices, industry research, public feedback and policy directions.

The goal of the NCC is to enable the achievement of nationally consistent, minimum necessary standards of relevant safety (including structural safety and safety from fire), health, amenity and sustainability objectives efficiently. The NCC has traditionally included a part focused on access for people with a disability, setting out deemed-to-comply solutions and general building requirements for buildings based on their classification, for class 2-9 buildings. For the 2022 edition of the NCC new requirements titled the 'livable housing design' requirements, based on the Livable Housing Design Guidelines (silver level), were incorporated into both volumes of the NCC.

These requirements apply to all dwelling types, including new Class 1a (single house) buildings. The purpose of these changes was to help increase the stock of housing that is adaptable and better able to meet the needs of older people and people with mobility limitations. The Deemed-to-Comply provision of the new requirements, called the <u>ABCB Livable Housing Design Standard</u>, covers:

- Providing step-free access to the home.
- Making doorways and hallways easier to use for people with reduced mobility.
- Providing extra space in the bathroom and toilet.
- Wall reinforcing in the bathroom and toilet, to make it easier to install grabrails if needed in the future.

The NCC is implemented into Western Australia's building regulatory system through amendments to the Building Regulations 2012, with the NCC 2022 commencing operation in WA on 1 May 2023, following a 12-month transition period. In announcing the implementation of the NCC 2022, the State Government indicated that it had considered the current challenges facing the building and construction industry and as a result decided that some provisions, including energy efficiency, would have a longer transitional period and that the mandatory liveable (accessible) housing provisions would not be applied in Western Australia. In making this determination the Government indicated it would continue to monitor the situation in the building industry and the housing market. New South Wales and South Australia also determined to not support the new requirements. There is no indication, at time of writing, that the State Government has progressed in its consideration of the livable housing design requirements.

#### WALGA's Building Act and Regulations Advocacy Position

Assessments of the effectiveness of building control systems across Australia have recognised that there is diminishing public confidence in the building and construction industry, and that change is required to ensure buildings are safe and perform to expected standards. Now more than ever the focus is on Local Government building departments to deliver good governance, local leadership and sustainable services that meet the needs of their communities whilst supporting local jobs and economic growth.

The Association has the following endorsed positions:

- 1. Support the retention of Local Government as the primary permit authority in Western Australia for decisions made under the *Building Act 2011*.
- 2. Supports mandatory inspections for all classes of buildings, however, Local Government should not be solely responsible for all mandatory inspections.
- 3. Advocate for the State Government to urgently prioritise legislative reform that addresses systemic failures in the current building control model and to provide clarification on the role of Local Government in building control to ensure building legislation supports the following objectives:
  - a. Quality buildings that are cost efficient.
  - b. Functional, safe and environmentally friendly buildings.
  - c. Good decision making in all aspects of building.
  - d. Efficiency and effectiveness in building management, administration and regulation.
  - e. Openness and accountability with respect to all building matters.
  - f. Recognition of the rights and responsibilities of all parties in building matters in an equitable manner.
- 4. Existing and proposed building control related fees and charges to be cost recovery for Local Government.
- 5. WALGA will work with members, state agencies and industry groups to develop training opportunities and to promote the Local Government building surveying profession to ensure sustainability of Local Government building control services.
- 6. WALGA supports the Australian Building Codes Boards Trajectory for Low Energy Buildings by supporting Local Governments to meet community strategic objectives of a net zero carbon future by 2050 through work with members, state agencies and industry groups.

#### 8 CLOSURE



## Western Australian Local Government Association AGM Standing Orders

#### 1. INTERPRETATIONS

For the purposes of these Standing Orders, if not inconsistent with the context, the following words shall have the following meanings:

#### **1.1** "Absolute Majority" means:

a majority of delegates of the Association whether present and voting or not.

#### **1.2** "Association" means:

all or any part of the Western Australian Local Government Association.

**"Delegate or Deputy Delegate"** means: those persons duly nominated, from time to time, to represent a Member Local Government at a meeting of the Association.

#### 1.4 "Deputy President" means:

the Deputy President for the time being of the Association.

#### **1.5** "Meeting" means:

an Annual or Special General Meeting of the Association.

1.6 "Member Local Government" means: a Local Government admitted to ordinary membership of the Association in accordance with the provisions of the Constitution.

#### **1.7** "President" means:

the President for the time being of the Association.

#### **1.8** "Simple Majority" means:

a majority of the delegates from the Association that are present and voting.

#### 2. CONDUCT OF MEETINGS

The proceedings and business of meetings of the Association shall be conducted according to these Standing Orders.

#### 3. NOTICE OF MEETING

#### 3.1 Annual General Meeting

The Chief Executive Officer of the Association shall give at least ninety (90) days' notice of an Annual General Meeting to all Member Local Governments, advising of the closing date for submission of motions for inclusion on the agenda.

#### 3.2 Special General Meeting

A Special General Meeting of the Association is to be held if a request is received by the Association President, in accordance with the requirements of the Association's Constitution. No business shall be transacted at a Special General Meeting other than that for which the Special General Meeting was called.

3.3 Notice shall be given at the destinations appearing in the records of the Association.

Notice will be deemed to have been delivered immediately if transmitted electronically or on the second working day after posting.

#### 4. QUORUM

- **4.1** The Association shall not conduct business at a meeting unless a quorum is present.
- 4.2 At any meeting of the Association greater than one half of the delegates who are eligible to vote must be present to form a quorum.
- **4.3** The Association is not to transact business at a meeting unless a quorum is present.
- 4.4 If a quorum has not been established within the 30 minutes after a meeting is due to begin then the Association can be adjourned
  - (a) by the President or if the President is not present at the meeting, by the Deputy President;
  - (b) if neither the President nor Deputy President is present at the meeting, by a majority of delegates present;

- (c) if only one delegate is present, by that delegate; or
- (d) if no delegate is present, by the Chief Executive Officer or a person authorised by the Chief Executive Officer.
- 4.5 If at any time during a meeting a quorum is not present, the President shall thereupon suspend the proceedings of the meeting for a period of five (5) minutes and if a quorum is not present at the expiration of that period, the meeting shall be deemed to have been adjourned and the person presiding is to reschedule it for some future time.
- **4.6** Notice of a meeting adjourned because of absence of a quorum is to be given to all Member Local Governments.

#### 5. MEETINGS OPEN TO THE PUBLIC

The business of the Association shall be open to the public except upon such occasions as the Association may by resolution otherwise decide.

#### 6. ORDER OF BUSINESS

Unless the Association should decide otherwise, the order of business at meetings of the Association, with the exception of special

meetings or an adjourned meeting, shall be as follows:

- (a) Record of attendance and apologies;
- (b) Announcements;
- (c) Confirmation of minutes of previous meetings;
- (d) President's report;
- (e) Financial report for the financial year;
- (f) Consideration of Executive and Member Motions.

#### 7. VOTING ENTITLEMENTS

- **7.1** Each Member Local Government shall be entitled to be represented at any meeting of the Association.
- **7.2** Only eligible and registered delegates may vote.
- 7.3 A delegate shall be entitled to exercise one vote on each matter to be decided. Votes are to be exercised in person.
- 7.4 A delegate unable to attend any meeting of the Association shall be entitled to cast a vote by proxy.
- 7.5 A proxy shall be in writing and shall nominate the person in whose favour the proxy is

given, which person need not be a delegate. Proxy authorisations shall be delivered to the Chief Executive Officer of the Association before the commencement of the meeting at which the proxy is to be exercised and shall be signed by the delegate or by the Chief Executive Officer of the Member Local Government that nominated the delegate.

#### 8. SPECIAL URGENT BUSINESS

At any time during a meeting a delegate may, with the approval of an absolute majority, introduce a motion relating to special urgent business that calls for an expression of opinion from the meeting.

In presenting an item of special urgent business, a delegate shall have sufficient copies of the motion in writing for distribution to all delegates present at the meeting and, where practicable, give prior notice to the President of such intention.

#### 9. PRESIDENT

In the construction of these Standing Orders unless the context requires otherwise, the word "President" shall in the absence of the President include the Deputy President or the delegate chosen by resolution to preside at any meeting of the Association.

#### 10. DELEGATE AND DEPUTY DELEGATE

- 10.1 In the construction of these Standing Orders unless the context requires otherwise, the word "delegate" shall in the absence of the delegate include the deputy delegate.
- 10.2 A deputy delegate acting in the capacity of a delegate unable to attend a meeting of the Association shall exercise all rights of that delegate.

#### 11. PRESIDENT TO PRESIDE

- 11.1 The President shall preside at all meetings of the Association, but in absence of the President, the Deputy President shall preside.
- 11.2 In the absence of the President and the Deputy President, the delegates shall choose by resolution, a delegate present to preside at the meeting.

#### 12. SPEAKING PROTOCOL

- 12.1 Only registered delegates and members of the Association's State Council shall be entitled to speak at meetings of the Association.
- **12.2** The first person that is entitled to speak at a meeting who attracts the attention of the

person presiding shall have precedence in speaking.

- **12.3** Speakers are to use the microphones supplied.
- **12.4** When addressing a meeting, speakers are to:
  - (a) rise and remain standing unless unable to do so by reason of sickness or disability;
  - (b) address the meeting through the person presiding;
  - (c) state their name and Local Government before otherwise speaking;
  - (d) refrain from reading comment printed in the agenda paper in support of a motion, but may identify key points or make additional comment; and
  - (e) refrain from using provoking or discourteous expressions that are calculated to disturb the peaceful current of debate.
- **12.5** Mobile phones shall not be switched on while the meeting is in session.

#### 13. DEBATE PROCEDURES

- **13.1** A delegate moving a substantive motion may speak for
  - (a) 5 minutes in his or her opening address; and
  - (b) 3 minutes in exercising the right of reply.
- 13.2 Other speeches for or against motions are to be limited to 3 minutes unless consent of the meeting is obtained which shall be signified without debate.
- 13.3 No delegate, except the mover of a motion in reply, is to speak more than once on the same motion except by way of personal explanation.
- 13.4 As soon as the right of reply has been exercised, the motion is to be forthwith put to the vote without further comment.
- 13.5 No discussion shall take place on any motion unless it is moved and seconded. Only one amendment on any one motion shall be received at a time, and such amendment shall be disposed of before any further amendment can be received. Any number of amendments may be proposed.
- 13.6 The provisions of these Standing Orders applicable to motions apply mutatis mutandis to amendments, except that the mover of an amendment shall have no right of reply.

- 13.7 When a motion has been moved and seconded, the person presiding shall at once proceed to take a vote thereon unless a delegate opposes it or an amendment is proposed.
- 13.8 No more than two delegates shall speak in succession on one side, either for or against the question before the meeting, and if at the conclusion of the second speaker's remarks, no delegate speaks on the other side, the motion or amendment may be put to the vote.
- 13.9 Notwithstanding clause 13.7, where a composite motion is moved which embodies the core aspects of subsequent motions listed on the agenda, a delegate whose motion has been superseded shall have the opportunity to speak on the question of the composite motion before it is put.

Once a composite motion has been carried, no further debate shall be permitted in respect of the superseded motions.

13.10 At any time during a debate, but after the conclusion of a delegate's comments, a delegate who has not spoken during the debate may move, without discussion, "that the question be now put". If that motion is seconded and carried by a majority, the question shall be submitted at once to the meeting, after the mover has replied.

#### 14. QUESTIONS

Any delegate seeking to ask a question at any meeting of the Association shall direct the question to the President.

#### 15. POINT OF ORDER

A delegate who is addressing the President shall not be interrupted except on a point of order, in which event the delegate shall wait until the delegate raising the point of order has been heard and the question of order has been disposed of, whereupon the delegate so interrupted may, if permitted, continue.

#### 16. MOTION - SUBSTANCE TO BE STATED

A delegate seeking to propose an original motion or amendment shall state its substance before addressing the meeting thereon and, if so required by the President, shall put the motion or amendment in writing.

#### 17. PRIORITY OF SPEAKERS

If two or more delegates wish to speak at the same time, the President shall decide who is entitled to priority.

#### 18. PRESIDENT TO BE HEARD

Whenever the President signifies a desire to speak during a debate, any delegate speaking or offering to speak is to be silent, so that the President may be heard without interruption.

#### 19. WITHDRAWAL OF MOTION

A motion or amendment may be withdrawn by the mover with the consent of the meeting, which shall be signified without debate, and it shall not be competent for any delegate to speak upon it after the mover has asked permission for its withdrawal, unless such permission has been refused.

#### 20. PRESIDENT MAY CALL TO ORDER

The President shall preserve order, and may call any delegate to order when holding an opinion that there shall be cause for so doing.

#### 21. RULING BY PRESIDENT

The President shall decide all questions of order or practice. The decision shall be final and be accepted by the meeting without argument or comment unless in any particular case the meeting resolves that a different ruling shall be substituted for the ruling given by the President. Discussions shall be permitted on any such motion.

#### 22. RESOLUTIONS

- 22.1 Except as otherwise provided in the Association Constitution and these Standing Orders, all motions concerning the affairs of the Association shall be passed by a simple majority.
- 22.2 Any matter considered by the Association at a Special Meeting shall not be passed unless having received an absolute majority.

#### 23. NO DISCUSSION

Where there is no discussion on a motion, the President may deem the motion to be passed unless the meeting resolves otherwise.

#### 24. PERMISSIBLE MOTIONS DURING DEBATE

- **24.1** When a motion is under debate, no further motion shall be moved except the following:
  - (a) that the motion be amended;
  - (b) that the meeting be adjourned;
  - (c) that the debate be adjourned;
  - (d) that the question be now put;

- (e) that the meeting proceed with the next item of business; or
- (f) that the meeting sits behind closed doors.
- 24.2 Any delegate who has not already spoken on the subject of a motion at the close of the speech of any other delegate, may move without notice any one of the motions listed in clause 24.1 (b)-(f) and, if the motion is seconded, it shall be put forthwith.
- 24.3 When a debate is adjourned, the delegate who moves the adjournment shall be the first to speak on the motion when the debate is resumed unless the delegate advises of no desire to speak on the motion. Where this occurs, the President shall then call for further speakers, with the exception of those delegates who have previously spoken (unless the meeting otherwise agrees).

#### 25. RESCISSION OF RESOLUTION

#### 25.1 At the same meeting

Unless a greater majority is required for a particular kind of decision under the Standing Orders (in which event that shall be the majority required), the Association may, by simple majority at the same meeting at which it is passed, rescind or alter a resolution if all delegates who were present at the time when the original resolution was passed are present.

#### 25.2 At a Future Meeting

Unless a greater majority is required for a particular kind of decision under the Standing Orders (in which event that shall be the majority required), the Association may rescind or alter a resolution made at an earlier meeting:

- (a) by simple majority, where the delegate intending to move the motion has, through the Chief Executive Officer, given written notice of the intended motion to each delegate at least seven (7) days prior to the meeting; or
- (b) by absolute majority, in any other case.

#### 26. METHOD OF TAKING VOTES

The President shall, in taking a vote on any motion or amendment, put the question first in the affirmative, and then in the negative and may do so as often as is necessary to enable formation and declaration of an opinion as to whether the affirmative or the negative has the majority on the voices or by a show of hands or by an electronic key pad voting system.

#### 27. DIVISION

The result of voting openly is determined on the count of official voting cards and, immediately upon a vote being taken, a delegate may call for a division.

#### 28. ALL DELEGATES TO VOTE

- **28.1** At meetings of the Association, a delegate present at the meeting when a question is put shall vote on the question.
- **28.2** Each delegate shall be entitled to exercise one deliberative vote on any matter considered.

#### 29. PRESIDENT'S RIGHT TO VOTE

The President shall have a casting vote only.

#### 30. SUSPENSION OF STANDING ORDERS

- 30.1 In cases of urgent necessity or whilst the Association is sitting behind closed doors, any of these Standing Orders may be suspended on a motion duly made and seconded, but that motion shall not be declared carried unless a simple majority of the delegates voting on the question have voted in favour of the motion.
- **30.2** Any delegates moving the suspension of a Standing Order shall state the object of the motion, but discussion shall not otherwise take place.

# 31. NO ADVERSE REFLECTION ON ASSOCIATION

A delegate shall not reflect adversely upon a resolution of the Association, except on a motion that the resolution be rescinded.

#### 32. NO ADVERSE REFLECTION ON DELEGATE

A delegate of the Association shall not reflect adversely upon the character or actions of another delegate nor impute any motive to a delegate unless the Association resolves, without debate, that the question then before the Association cannot otherwise be adequately considered.

#### 33. MINUTES

- **33.1** The Chief Executive Officer of the Association is to cause minutes of the meeting to be kept and preserved.
- **33.2** The minutes of a meeting are to be submitted to the next Annual or Special General Meeting for confirmation.
- **33.3** Copies of the minutes will be supplied to all delegates prior to the meeting.



# WALGA Annual General Meeting Minutes

Monday, 18 September 2023

**Crown Perth** 



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#### Order of Proceedings

2:00pm Opening and welcome – WALGA President, Cr Karen Chappel AM JP

2:05pm LGIS Address - Chief Executive Officer, Mr James Sheridan

2:15pm Award Presentations

2:45pm Commencement of Annual General Meeting (to follow formal Agenda)

5:00pm Close of Annual General Meeting

#### 1. Apologies and Announcements

The Chair declared the meeting open at **2:45pm**.

#### 1.1 Record of Apologies

- Shire of Dowerin
- Town of Mosman Park
- Shire of Williams

#### 1.2 Announcements

Nil

### Adoption of AGM Association Standing Orders

The Annual General Meeting Association Standing Orders were contained within the Agenda

#### **RESOLUTION**

Moved: Cr Paul Kelly, Town of Claremont

Seconded: President Cr Tony Dean, Shire of Nannup

That the Annual General Meeting Association Standing Orders be adopted.

**CARRIED** 



#### Confirmation of Previous Minutes

The Minutes of the 2022 WALGA Annual General Meeting were contained within the Agenda, along with a report on the action taken on the 2022 AGM resolutions.

#### RESOLUTION

Moved: President Cr Michelle Rich

Seconded: Mayor Deb Hamblin, City of Rockingham

That the Minutes of the 2022 WALGA Annual General Meeting be confirmed as a true and correct record of proceedings.

**CARRIED** 

#### 4. Adoption of Annual Report

The <u>2022-2023 Annual Report</u>, including the 2022-2023 Audited Financial Statements, was distributed to Members separately.

#### RESOLUTION

Moved: Cr Paul Kelly, Town of Claremont

Seconded: President Cr Moira Girando, Shire of Coorow

That the 2022-2023 Annual Report, including the 2022-2023 Audited Financial

Statements, be received.

**CARRIED** 



#### 5. Consideration of Executive and Member Motions

# 5.1 Local Governments' representation at the State Administrative Tribunal relating to planning matters within its district

Shire of York

#### RESOLUTION

Moved: President Cr Denese Smythe, Shire of York

Seconded: President Cr Rosemary Madacsi, Shire of Toodyay

That WALGA lobby the State Government for legislative reform to enable Local Governments the automatic right to be a represented party at all State Administrative Tribunal hearings related to planning matters within its district.

**CARRIED** 

#### **MEMBER COMMENT**

The Shire of York acknowledges WALGA's current position on Third Party Appeal rights for decisions made by Development Assessment Panels (DAPs). However, the Shire submits this motion requesting WALGA lobby for legislative change to enable local governments the right to be included as a Party at State Administrative Tribunal (SAT) proceedings relating to planning matters within their districts, even where the relevant DAP has been the responsible authority for considering the matter.

The Great Southern Landfill - Allawuna Farm development proposal is a key case in point. The original planning application for the landfill proposal was considered by the Joint DAP (JDAP) as required due to the cost of the development in accordance with the *Planning and Development (Development Assessment Panel) Regulations 2011.* 

While the landfill proposal has been a matter of consideration since around 2011, most recently the JDAP refused the applicant's request for an extension of time for the development to occur. The applicant subsequently applied to the SAT for a review of the JDAP's decision.

The Planning and Development (Development Assessment Panels) Regulations 2011 and the State Administrative Tribunal Act 2004 do not currently enable local governments the automatic right to be included as a Party to the SAT proceedings.

Hence, although the development proposal is within the district of the Shire of York, and there are substantial impacts to the community and infrastructure should the proposal be approved, the Shire of York is currently unable to be represented at the SAT as it is not recognised as a Party. This significantly impacts the Shire's ability to provide viewpoints on the development proposal, and the ability for the Shire to appropriately represent and act on behalf of its community. It is clear the current planning system has woeful neglect of the community in planning matters.

Local governments have an intimate knowledge of their communities and relevant planning schemes hence it is considered appropriate that local governments should have the statutory right to 'opt out' of such representation, as opposed to having to make special request to the SAT for inclusion as an Intervener or Joinder under Section 36 of the *State Administrative Tribunal Act 2004*.



Making such an application under Section 36 to the SAT can be at considerable cost to the local government, and while larger local governments may have legal teams on staff, small local governments rarely have the skill set within the organisation. Adherence to procurement policies and working within budget constraints may prohibit smaller local governments from participating in the SAT process, which could be of significant detriment of their communities. This is particularly important where there may be a range of short and long term environmental, bushfire, social and safety risks applicable to the development proposal the SAT is determining. In some circumstances these risks may be considered unacceptable for the community and locality.

Relying on the JDAP to appoint appropriate legal representation may jeopardise a local governments' standpoint being given proper consideration at the SAT proceedings. Enabling local governments the statutory right to be included as a Party would reduce that risk.

This scenario is not considered to be unique to the Shire of York and could affect many other local governments throughout the State, hence this Notice of Motion is presented to WALGA's AGM for consideration.

It is noted the State Government is about to undertake changes to the DAP Regulations as part of its <u>Planning Reform Agenda</u>. The Shire of York considers this timely as any further suggestions on other changes to the system could be incorporated into WALGA's advocacy position on the Government's reforms.

#### SECRETARIAT COMMENT

Local Government has several responsibilities and functions under the current Development Assessment Panel (DAP) system. This includes receipting the application, undertaking the technical assessment of the proposal, writing the responsible authority report to be presented to the Panel with recommendations, and ensuring compliance of any proposal for the life of the development. Further, two Local Government Elected Members sit on all DAPs and vote on all matters.

Where the DAP makes a decision that is unsatisfactory to the proponent and they appeal the matter to the State Administrative Tribunal (SAT), the matter is managed by the Department of Planning, Lands and Heritage and the State Solicitors Office, as the DAP is a creature of the State.

Local Governments often seek to participate in such SAT matters as an interested third party. There is a strong argument for Local Government participation in such matters, as involvement of assessing officers and their understanding of the proposal and local planning framework can aid the SAT in their decision making.

The motion aligns with the intent of WALGA's planning advocacy positions 6.3 Third Party Appeal rights and 6.4 Development Assessment Panels in relation to both Third Party Appeal Rights and DAPs. While WALGA does not support the ongoing existence of DAPs, the advocacy position provides a number of recommended changes to the system that seek to address Local Government concerns and increase community involvement and transparency.



#### 5.2 Land Use Policy

#### Shire of Moora

#### RESOLUTION

Moved: President Cr Tracy Lefroy, Shire of Moora Seconded: Cr Denise Clydesdale-Gebert, Shire of Moora

That WALGA establish and promote policies to protect and prioritise the preservation of agricultural land against its displacement by non-agricultural activities that lead to a net reduction of the State's productive agricultural land.

**CARRIED** 

#### MEMBER COMMENT

The future of the Australian agriculture sector holds tremendous potential, with the United Nations Food and Agriculture Organization (FAO) projecting a global population exceeding 9 billion by 2050, accompanied by a 75% increase in food demand compared to 2012. Expanding populations, especially in countries like China, Indonesia, and India, offer significant opportunities for Australia's agricultural exports.

To harness this potential, it is vital to ensure that our agricultural sector can access the necessary land and water resources. Currently, agriculture remains the dominant land use in Australia, but its share has been declining over the years. Urbanisation, lifestyle living, mining, gas activities, and renewable technology expansion have all contributed to the reduction of productive agricultural land.

The decisions made by governments at all levels can profoundly impact the success of the agriculture sector. We must address the challenges posed by the conversion of agricultural land to other uses, such as carbon sequestration, which may hinder innovative farming practices and compromise agricultural output.

Therefore, WALGA's commitment to preserving existing agricultural land and actively engaging in strategic land use planning is crucial. We should advocate for cohesive planning frameworks that prioritize the value of agricultural land for agricultural purposes.

#### **Background**

In 2005/06, approximately 59% of Australia's land was used for agriculture, covering around 456 million hectares. However, this proportion has been declining, with about a 4% reduction between 1992-93 and 2005-06. Recent data suggests that the decline has accelerated since 2006.

Changes in land use at regional and local levels can significantly impact the agriculture sector, such as displacing agriculture entirely, reducing net productivity, limiting farming practices, and risking essential natural resources like water. This situation is further exacerbated by land conversion to carbon sequestration areas and other non-agricultural uses.

#### Issue

The Shire of Moora notes the alarming loss of Wheatbelt agricultural land due to its conversion for carbon sequestration purposes. This conversion locks significant parcels of land away for extended periods, hindering innovative farming practices and shorter-term restorative initiatives. As such, the Shire urges WALGA to commit to a comprehensive strategic approach that actively preserves existing agricultural land from further loss to unproductive uses.



Local, state and federal governments each have responsibilities and decision-making powers that influence access to land for the agriculture sector. The responsibilities and powers are largely enshrined in planning and environmental protection laws.

The Shire of Moora urges WALGA to commit to an active policy of preserving the existing agricultural land mass from further loss to unproductive uses. The Shire encourages WALGA to actively engage in a comprehensive strategic approach that promotes the value of agricultural land in land use planning and establishes cohesive planning frameworks that ensure the preservation of productive agricultural land for agricultural purposes.

#### Call-to-Action

The Shire of Moora urges WALGA to adopt a policy that actively preserves the existing agricultural land mass from further loss to unproductive uses. Additionally, WALGA should engage in a comprehensive strategic approach to promote the value of agricultural land in land use planning and establish cohesive planning frameworks that ensure the preservation of productive agricultural land for agricultural purposes.

By incorporating these suggested edits, your policy motion will become more focused, specific, and persuasive. It will provide a clearer picture of the issue at hand and the actions necessary to address it effectively. Feel free to make further adjustments as needed to align with your local government's preferences and requirements.

#### SECRETARIAT COMMENT

Land use planning in Western Australia relies on an interaction between the state planning framework and the local planning framework of each Local Government. The planning framework operates on the principle of 'higher law' where local planning frameworks will only be approved by the State where they are consistent with the objectives, principles and policy measures of the relevant state framework. Policy direction at the state level is generally broader, with the local planning framework expected to deliver state policy measures in more detail in a manner supported by community and in line with local context.

State Planning Policy 2.5 Rural Planning (SPP2.5) provides the basis for planning and decision-making for rural and rural living land across Western Australia. The current state planning framework supports protecting prime agricultural land. The first objective of SPP2.5 is:

to support existing, expanded and future primary production through the protection of rural land, particularly priority agricultural land and land required for animal premises and/or the production of food;

Further, policy measure 5.1b of SPP2.5 states:

The WAPC will seek to protect rural land as a state resource by retaining land identified as priority agricultural land in a planning strategy or scheme for that purpose;

The implementation of these state-wide principles occurs through the local planning framework, including the Local Planning Strategy, Local Planning Scheme and Local Planning Policies.

SPP2.5 encourages Local Governments to identify priority agricultural land in their Local Planning Strategy and, with their community, set objectives and preferred development outcomes for such locations. Such a designation would then flow into a priority agriculture zone in a Local Planning Scheme, with land use permissibility and statutory provisions in line with the principles outlined in the Local Planning Strategy. Following this, a Local Government can develop Local Planning Policies to guide discretionary decision making for proposals on priority agricultural land.







#### 5.3 Transparency – Management Order Determinations

#### Shire of Carnarvon

#### RESOLUTION

Moved: President Cr Eddie Smith, Shire of Carnarvon Seconded: President Cr Cheryl Cowell, Shire of Shark Bay

#### That WALGA:

- Advocates for Department of Planning, Lands and Heritage to consult and collaborate with Local Governments in reviewing and publishing its policies, decision making criteria, guidelines and procedures associated with the administration of management
- 2. Ensure the review recognises the cost burden on local governments in managing reserves and options for supporting local governments in meeting that responsibility;
- 3. Calls for proactive consultation and advice to Local Government management bodies.

**CARRIED** 

#### **MEMBER COMMENT**

The Shire of Carnarvon, like most Local Governments across the State, have many reserves it manages on behalf of the State Government. The reserve is a form of tenure over Crown Land.

The reserve is usually created for the care of land that is used for community benefit or in the delivery of government services, and local governments have accepted management orders for reserves which comes with the responsibility for the care and control of the reserve, a responsibility that comes at a cost, sometimes a significant cost to the local government.

An extract from the Department of Planning, Lands and Heritage (DPLH) website states:

"Reserves are not usually granted for long-term economic development or for a commercial purpose or benefit."1

The use of the word "usually" is ambiguous and subject to interpretation. The question therefore becomes, in what circumstance are leases on reserved land appropriate for a management body to be the lessor? The Shire of Carnarvon is seeking greater transparency on when and how this clause should be applied.

The Shire of Carnarvon has had several examples where an opportunity to recoup reserve management costs via a commercial lease has been offered, but not been able to be progressed due to the stipulation that the local government cannot enter into a commercial leases for a reserve: instead the Shire has been required to relinquish the reserve, or a portion of the reserve, so that the area can be leased direct by the State to the lessee so that the State benefits financially from the lease.

The Shire of Carnarvon is seeking support for a review of that considers the cost to local government for maintaining reserves on behalf of the State and considers and provides transparency for how and

DPLH, (August, 2023) Crown Land Reserves. https://www.wa.gov.au/organisation/department-of-planning-lands-andheritage/crown-land-reserves



when commercial leasing could be considered to allow local governments an opportunity to realise a financial return to reinvest into community facilities.

#### SECRETARIAT COMMENT

A number of Local Governments have recently requested WALGA advocate for the State Government to review Management Order administration, specifically management body leasing approvals.

There have been examples of DPLH delays in resolving matters that enable new, variations to or revocation of Management Orders. The Departments website provides only limited information/guidance and does not provide management bodies (Local Governments) with access to the policies, decision making criteria, procedures and guidelines applied to the administration of Management Orders.

WALGA has been informed that DPLH, under delegated authority, is refusing some Local Government requests for new or renewed leasing of Crown Land subject to Management Orders.



#### 5.4 Regional and Remote Housing

Shire of East Pilbara

#### RESOLUTION

Moved: President Cr Anthony Middleton, Shire of East Pilbara Seconded: Cr Wendy McWhirter-Brooks, Shire of East Pilbara

That WALGA advocates to the WA State and Commonwealth Governments to address the dire shortage of affordable key worker family housing options in regional and remote towns to encourage families to live and work in regional and remote towns. Social housing is addressed at both the State and Federal levels.

**CARRIED** 

#### MEMBER COMMENT

A lack of affordable key worker housing continues to limit small business expansion and attract key workers and their families to remote and regional areas of WA.

Government does a good job addressing the supply of social housing but more investment is needed to provide housing for key workers in remote and regional areas.

Businesses and families should be encouraged to invest in our regional towns and a key part of the solution is addressing shortages in the cost of housing for workers.

#### SECRETARIAT COMMENT

A lack of affordable key worker housing is a significant barrier to economic development in many regional areas of the state. This issue was a key finding of research undertaken by WALGA last year to review WALGA's Economic Development Framework and gain contemporary information about how Local Governments in Western Australia support economic development which involved a survey of Local Governments and a series of focus group discussions which also identified barriers and challenges for the sector.

The State Government allocated \$61.6 million in additional funding for the Government Regional Officer Housing (GROH) Program in the 2023-24 State Budget to add new supply and refurbish existing homes to assist with the attraction and retention of key workers in regional areas. WALGA is advocating for the State Government to work with Local Governments on the delivery of this investment to ensure it does not further tighten the housing market in regional WA. The Department of Communities will also spend \$1.1 million to undertake a comprehensive review and reform of the GROH program.

In recent months, State Council approved WALGA's 2023-24 Budget, which included an additional resource to progress the economic development policy agenda. Issues related to housing will be a priority for this new role. The new role is expected to commence in October 2023.



## 5.5 Proposed New WALGA Constitution

Executive Motion

#### **VOTING REQUIREMENT: SPECIAL MAJORITY**

Amendments to the Constitution require endorsement by a Special (75 percent) Majority of Members at a General Meeting, whether present and voting or not.

#### **MOTION**

Moved: Mayor Rhys Williams, City of Mandurah

Seconded: President Cr Stephen Strange, Shire of Bruce Rock

That a new WALGA Constitution giving effect to an alternate governance model be adopted, as per the attached.

LOST

#### **Executive Summary**

- On <u>5 July</u>, a special majority of State Council resolved to put two items to Members at the 2023 WALGA Annual General Meeting (AGM):
  - 1. To consider a new Constitution to give effect to an alternate governance model; and
  - 2. To amend the existing Constitution to retain the current governance model with some necessary changes.
- This is the first item, which considers a new Constitution to give effect to an alternate governance model for WALGA as per the <a href="Best Practice Governance Review Final Report">Best Practice Governance Review Final Report</a>.
- The alternate governance model would establish a new Board above the existing State Council and Zone structure.
- Membership of the Board would be drawn from State Council representatives, as well as the option to appoint up to 3 'independent' Members.
- The Board would be responsible for the overall governance of WALGA, including financial oversight and strategic direction.
- The role of State Council under the new model would primarily be focused on policy development and advocacy priorities.

#### **Attachment**

Proposed New WALGA Constitution

#### **Background**

In March 2022, State Council commissioned the Best Practice Governance Review and appointed a Steering Committee to oversee the Project.

Following the endorsement of a set of Governance Principles by Members at the <u>2022 Annual General Meeting</u> (AGM), the Steering Committee put forward a <u>Consultation Paper</u> for feedback from Members. Informed by the Governance Principles, the Paper detailed five possible model options for WALGA's governance structure (including the Current Model).

A total of 99 Council-endorsed submissions were received in response to the model options. After considering both the submissions received and results of independent research conducted with the sector, the Steering Committee produced its <u>Final Report</u> and recommendation to State Council in February 2023.



At the meeting on 1 March this year, State Council resolved that:

- 1. The Best Practice Governance Review Stage 3 Final Report be received;
- 2. The proposed changes to WALGA's governance structure as per the revised Model 1, detailed in the Stage 3 Final Report, be noted;
- 3. Members be engaged on the detail of the model and a Final Report be presented to the May 2023 State Council meeting for consideration;
- 4. Any recommendation to the 2023 AGM include Option 5 as the Current Model and Option 1 as an alternative to the Current Model; and
- 5. Subject to points 1, 2, 3 and 4 above, constitutional changes be developed for consideration by State Council.

As per point 3 above, feedback was subsequently sought from Members in relation to the proposed alternate model.

A further report detailing the feedback was presented to State Council at its last meeting on <u>3 May</u>. At that meeting, State Council resolved to receive the report, and that:

Two sets of constitutional changes be developed for consideration by State Council at the July 2023 meeting to be put to the 2023 Annual General Meeting, that:

- a. Give effect to the revised Model 1, as per the Best Practice Governance Review Final Report; and
- b. Refine the current constitution to address inconsistencies and other issues while maintaining the current governance model.

As per the resolution above, two versions of the Association Constitution were presented to State Council for consideration at the meeting on 5 July:

- 1. The first being a new Constitution, giving effect to an alternate governance model, as per the <u>Best Practice Governance Review Final Report</u>; and
- 2. The second being a marked-up version of the current Constitution, which retains the current governance model of WALGA, with necessary changes.

State Council <u>resolved</u> by special majority to put both versions to Members for consideration at the 2023 AGM.

#### Comment

This item (recommending a new Constitution to give effect to the alternate model) will be presented first, as only one version of the Constitution can be endorsed. If this item does not receive 75 percent approval from Members, the next item (recommending amendments to the *current* Constitution but otherwise maintaining the current governance model) will be presented.

If this item (for a new Constitution) is successfully passed by a special majority of Members, the second item will not be put to the vote.

Amendments to the Constitution require endorsement by a special (75 percent) majority at State Council, as well as a 75 percent majority of Members at a General Meeting.

Assistance was provided by legal firm, Jackson McDonald, in preparing the new constitution for the alternate model.



The following provides a summary of the governance structure under the alternate model, as established by the proposed new WALGA Constitution:

#### **Body** Composition and Term

#### **Board**

Minimum of 8 up to a maximum of 11 Board members:

- President of State Council
- Deputy President of State Council
- 6 members elected from and by State Council members (3 from Metropolitan; 3 from Country)
- Up to 3 'independent' members appointed by the Board for their skills which can include Elected Members. State Council members are not eligible.

Board members elected for a 2 year term; maximum Board Tenure Limit is 8 years (4 terms).

The President and Deputy President is limited to 2 terms, maximum limit of 4 years. This maximum is in addition to the Board Tenure Limit, which means a person serving as President or Deputy President (or both) could be a Board member for up to 16 years.

#### Role

The President is the Chair and the Deputy President is the Deputy Chair.

The Board is responsible for the overall governance of WALGA, strategic direction, financial oversight, approving the annual budget, appointing the CEO etc.

The Board must consult with State Council before changing boundaries of the Constituencies and/or allocating Ordinary Members to Zones and Constituencies.

All Board members have a deliberative vote and it makes decisions by simple majority vote, except to change the powers of the Association, or representation or voting rights on State Council or the number of Zones, which requires an Absolute Majority decision of both the Board and State Council. Amending the Constitution requires a Special Majority decision of the Board, before being put to Members. The Board will meet at least 6 times per year.

#### State Council

26 State Council members:

- The President elected from and by the 24 State Council Representatives (Ex officio).
- 12 elected by and from Metropolitan Zones
- 12 elected by and from Country Zones
- The President of Local Government Professionals Australia WA (Ex-officio)
   does not have a right to vote.

The Deputy President is elected from amongst and by the 24 State Council members from the alternative constituency to the President. (That is, if the President is from a Metropolitan Zone, the Deputy will be elected from the 12 Country Zone representatives).

Once the President is elected, the Zone that they were elected to represent, appoints a replacement to State Council. The primary State Council members elected by the Zones are the primary State Council members, the deputies may attend the State Council meetings and vote if the primary representative is unable to attend. Only primary State Council members are eligible to be elected to the Board.

The President chairs State Council meetings but does not have a deliberative vote (has a casting vote).

State Council elects the President, Deputy President and members to the Board.

State Council considers matters referred to it by the Board for consultation or approval. State Council decisions are made by voting as per the current process.

State Council will meet at least 3 times per year.

State Council and the Board composition is based upon the principle that there should be equal representation from both Constituencies.



State Council members are not eligible to be appointed as an independent Board member.

State Council members are elected for a two year term. There is no tenure limit for State Council members.

#### **Zones**

#### There are:

- 5 Metropolitan Zones; and
- 12 Country Zones.

The boundaries of the Zones (i.e. Metropolitan v Country) are determined by the Board (in consultation with State Council) and documented in the Corporate Governance Charter.

The Zones comprise of representatives from Ordinary Members as determined by the Board (in consultation with State Council).

The number of Zones and the number of representatives that may be elected by a Zone to State Council are determined by an Absolute Majority decision of both the Board and State Council.

The Zones elect members to State Council, as follows:

- Each Country Zone elects one primary representative and one deputy representative to State Council.
- In the Metropolitan constituency:
  - The North Zone elects 3 primary representatives and a deputy for each to State Council.
  - The South Zone elects 3 primary representatives and a deputy for each to State Council.
  - The other 3 Zones each elect 2 primary representatives and a deputy for each to State Council.



#### 5.6 Proposed Amendments to WALGA's Constitution

**Executive Motion** 

#### **VOTING REQUIREMENT: SPECIAL MAJORITY**

Amendments to the Constitution require endorsement by a Special (75 percent) Majority of Members at a General Meeting, whether present and voting or not.

#### **MOTION**

Moved: President Cr Phil Blight, Shire of Wagin Seconded: Cr Chris Mitchell, Shire of Broome

That the WALGA Constitution be amended to retain the current governance model but with necessary changes, as per the attached mark-up.

LOST FOR LACK OF A SPECIAL MAJORITY

#### **Executive Summary**

- On <u>5 July</u>, a special majority of State Council resolved to put two items to Members at the 2023 WALGA Annual General Meeting (AGM):
  - 1. To consider a new Constitution to give effect to an alternate governance model; and
  - 2. To amend the existing Constitution to retain the current governance model with some necessary changes.
- This is the second item, which proposes amendments to the existing Constitution to make some necessary changes whilst still retaining the current governance model.
- The proposed changes are intended to address inconsistencies that have emerged after several rounds of amendments since the Constitution was first adopted by WALGA in 2001.

#### Attachment

WALGA Constitution – Proposed Amendments Mark-Up

#### Background

In March 2022, State Council commissioned the Best Practice Governance Review and appointed a Steering Committee to oversee the Project.

Following the endorsement of a set of Governance Principles by Members at the <u>2022 Annual General Meeting</u> (AGM), the Steering Committee put forward a <u>Consultation Paper</u> for feedback from Members. Informed by the Governance Principles, the Paper detailed five possible model options for WALGA's governance structure (including the Current Model).

A total of 99 Council-endorsed submissions were received in response to the model options. After considering both the submissions received and results of independent research conducted with the sector, the Steering Committee produced its <u>Final Report</u> and recommendation to State Council in February 2023.

At the meeting on 1 March this year, State Council resolved that:



- 1. The Best Practice Governance Review Stage 3 Final Report be received;
- 2. The proposed changes to WALGA's governance structure as per the revised Model 1, detailed in the Stage 3 Final Report, be noted;
- 3. Members be engaged on the detail of the model and a Final Report be presented to the May 2023 State Council meeting for consideration;
- 4. Any recommendation to the 2023 AGM include Option 5 as the Current Model and Option 1 as an alternative to the Current Model; and
- 5. Subject to points 1, 2, 3 and 4 above, constitutional changes be developed for consideration by State Council.

As per point 3 above, feedback was subsequently sought from Members in relation to the proposed alternate model.

A further report detailing the feedback was presented to State Council at its last meeting on 3 May. At that meeting, State Council resolved to receive the report, and that:

Two sets of constitutional changes be developed for consideration by State Council at the July 2023 meeting to be put to the 2023 Annual General Meeting, that:

- a. Give effect to the revised Model 1, as per the Best Practice Governance Review Final Report; and
- b. Refine the current constitution to address inconsistencies and other issues while maintaining the current governance model.

As per the resolution above, two versions of the Association Constitution were presented to State Council for consideration at the meeting on 5 July:

- 1. The first being a new Constitution, giving effect to an alternate governance model, as per the <u>Best Practice Governance Review Final Report</u>; and
- 2. The second being a marked-up version of the current Constitution, which retains the current governance model of WALGA, with necessary changes.

State Council resolved by special majority to put both versions to Members for consideration at the 2023 AGM.

#### Comment

This item (recommending amendments to the *current* Constitution but otherwise maintaining the current governance model) will only be presented to Members if the first item (recommending a new Constitution to give effect to the alternate model) does <u>not</u> receive 75 percent approval from Members.

If the first item (for a new Constitution) is successfully passed by a special majority of Members, this item will not be put to the vote.

Amendments to the Constitution require endorsement by a special (75 percent) majority at State Council, as well as a 75 percent majority of Members at a General Meeting.

The proposed amendments to the Constitution under this item will provide necessary changes, but otherwise retain the current governance model. The proposed changes are intended to fix inconsistencies that have emerged after several rounds of amendments since the Constitution was first adopted in 2001, as well as to address some potential issues that have been raised by State Council.

- There are several proposed amendments to the definitions contained in clause 2 Interpretation. In particular:
  - the inclusion of new definitions for "General Meeting", "Ordinary Meeting" and "Special Meeting"; and



- the refinement of the current definitions for "Constituency", "Country Constituency" and "Metropolitan Constituency" to move away from defining boundaries by way of the Metropolitan Region Planning Scheme.
- The deletion of clause 9(2) in light of clause 12(2)(b), which empowers State Council to decide the "allocation or change in allocation of any representation or voting rights on the State Council", rather than Members. Similarly, clause 14(3) to be amended to again empower State Council to decide the number of Zones, rather than the Members at a General Meeting.
- A new reason for disqualification has been included in clause 22(k) that refers to a State Councillor, Deputy State Councillor, President or Deputy President vacating their office once they become a candidate for election to a State or Federal Parliament "on or after the date the election writ is issued". This addition was prompted by State Council discussions in <u>September 2021</u> which resulted in similar changes to the Corporate Governance Charter.
- The deletion of clause 33(1)(c) as it deals with a non-Constitutional topic.
- In Schedule One, the meaning of subclause (f) was unclear and so has been deleted.
- The Register of Delegate Powers, Authorities, Discretions and Duties in Schedule Two has been amended to only include those powers as referred to in the Constitution, with those other powers to be captured in the Corporate Governance Charter.
- Finally, there has been a general tidy up of defined terms throughout the Constitution (that is, terms that are defined in clause 2 and require capitalisation).



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Upon the completion of business, the Chair declared the meeting closed 3:24pm.

#### Resolution

# 5.1 Local Governments' representation at the State Administrative Tribunal relating to planning matters within its district

That WALGA lobby the State Government for legislative reform to enable Local Governments the automatic right to be a represented party at all State Administrative Tribunal hearings related to planning matters within its district.

#### Comment/Update

The Environment Policy Team met on 16 February 2024 and resolved to:

- Note the 2023 AGM resolution, that WALGA lobby the State Government for legislative reform to enable Local Governments the automatic right to be a represented party at all State Administrative Tribunal hearings related to planning matters within its district.
- 2. Note that the resolution is consistent with the intent of WALGA Advocacy Position 6.3 Third Party Appeal Rights and 6.4 Development Assessment Panels.
- Request that WALGA continue to pursue advocacy consistent with these positions as part of the Planning reform process.

The right for Local Governments to be a represented party at all State Administrative Tribunal hearings related to planning matters within its district is supported in principle by the WALGA Secretariat. This will be considered as part of the review of the DAP Advocacy Position commencing in September 2024.

#### **5.2 Land Use Policy**

That WALGA establish and promote policies to protect and prioritise the preservation of agricultural land against its displacement by non-agricultural activities that lead to a net reduction of the State's productive agricultural land.

This resolution was referred to the WALGA People and Place Policy Team in December 2023. A suite of three related policy positions were considered by a joint meeting of the WALGA Environment and Infrastructure Policy Teams on 10 July 2024.

State Council endorsed the following positions on 4 September 2024 (Agenda Items 8.2, 8.3 and 8.4):

# Energy Transition Engagement and Community Benefit Framework

It is essential that the energy transition currently underway delivers economic opportunities, ensures reliable and affordable electricity, and the greatest possible benefits for the community.

WALGA calls on the State Government to develop a comprehensive framework to manage the impact of the energy transition that includes local engagement and the realisation of local community benefits from energy transition projects as a priority.

#### Renewable Energy Facilities

The growth in the number, size, and complexity of renewable energy facilities across Western Australia is expected to continue as energy generation and other traditional industries de-carbonise their facilities and operations. The renewable energy state planning framework requires changes to ensure it is fit for purpose to guide the ongoing development of this sector.

WALGA calls on the State Government to:

- 1. Adopt a new State Planning Policy for renewable energy facilities, to replace the existing Position Statement: Renewable energy facilities, that:
  - a. Facilitates the orderly development of renewable energy facilities across Western Australia;
  - b. Outlines the key planning and environmental considerations, for the location, siting, design and operation of renewable energy facilities and their associated infrastructure;
  - c. Provides a framework that clearly stipulates the minimum required documentation and technical reports that need to be submitted with proposals for renewable energy facilities;
  - d. Supports the development of Local Planning Policies by Local Governments to further guide locally appropriate planning consideration of renewable energy facilities;
  - e. Provides a clear relationship with:
    - i. State Planning Policy 2.5 Rural planning and Development Control Policy 3.4 Subdivision of rural land, to ensure planning decisions adequately balance the need to protect and

- preserve rural land for rural purposes;
- ii. State Planning Policy 2.4 Planning for Basic Raw Materials
  to ensure proposals for
  renewable energy facilities
  consider their impact on basic
  raw material supply at the
  earliest stage of the planning
  process; and
- iii. iii. State Planning Policy 2.9 -Planning for Water to ensure water resources impacted by renewable energy facilities are identified and adequately managed.
- f. Includes policy measures to address:
  - i. possible negative impacts on or alienation of productive agricultural land;
  - ii. their proximity to lot boundaries with particular attention to potential negative, impact on town sites and sensitive land uses;
  - iii. potential negative impacts on airport operations;
  - iv. their appropriateness in the 'General Industry' zone and impacts and suitable location on heavy industry sites;
  - v. the need for local engagement and the realisation of community benefits from the development of renewable energy facilities.
- 2. Review the definition of 'renewable energy facility' considering the increasing size and scope of facilities and consider creating definitions based on the scale of the facility (Utility-scale and other), and the form of facility (solar energy and wind energy).
- 3. Provide guidance to Local Governments on the consideration of green hydrogen production facilities on rural land where it is an incidental use to a renewable energy facility.

WALGA is advocating to State Government *Priority Agriculture* 

WALGA calls on the State Government to:

- 1. Amend the Planning and Development (Local Planning Schemes) Regulations 2015 to:
  - a. Create a new model zone under Schedule 1, Part 3, Clause 16 for land identified as high quality agricultural land known as the 'Priority Agriculture' zone, with the following objectives:
    - i. to retain priority agricultural land for agricultural purposes; and
    - ii. limit the introduction of sensitive land uses which may compromise existing, future and potential agricultural production.
  - b. Define 'Priority Agriculture' zone under Schedule 2, Part 1, Clause 1 to align with the definition provided in State Planning Policy 2.5 Rural planning.
- 2. Review the areas which have been identified by the Department of Primary Industries and Regional Development as high quality agricultural land and expand the extent of mapping to address the whole of Western Australia.
- 3. Undertake a 'health check' of State Planning Policy 2.5 Rural planning and Development Control Policy 3.4 Subdivision of rural land, in consultation with relevant stakeholders.

These positions are included in <u>WALGA's</u> <u>2025 State Election Priorities Platform</u> and have been raised in meetings with the Minister for Energy and the Premier.

5.3 Transparency – Management Order Determinations

This item was considered by State Council at its December 2023 meeting (Agenda item 7.2).

#### That WALGA:

 Advocates for Department of Planning, Lands and Heritage to consult and collaborate with Local Governments in reviewing and publishing its policies, decision making criteria, guidelines and The following Advocacy Position was endorsed:

- procedures associated with the administration of management orders;
- 2. Ensure the review recognises the cost burden on local governments in managing reserves and options for supporting local governments in meeting that responsibility; and
- 3. Calls for proactive consultation and advice to Local Government management bodies.

#### Crown Land and Management Order Administration - Land Administration Act 1997

WALGA advocates to the Department of Planning, Lands and Heritage (DPLH) to:

- Apply the following principles when dealing with matters affecting Local Government's role in managing Crown land:
  - a. Local Government is an equal partner with State Government in managing, developing and administration of Crown land for community benefit.
  - b. Local Government should be provided timely advice and consulted where State Government proposals impact management of or investment in Crown land.
  - c. Ensure timely communication with Local Government where DPLH intends to challenge an intention to levy leasing or land use revenues under a power to lease arrangement.
  - d. Decision-making criteria, policy and procedure transparency contributes to whole of government efficiency, effectiveness and accountability.
- 2. Publish the policies and procedures that underpin decision making regarding:
  - a. Establishing, varying or revoking management orders.
  - b. Leasing Crown land or facilities, subject to a management order.
  - c. Decision review where a management body or proponent lessee is dissatisfied with a decision or process.

#### 5.4 Regional and Remote Housing

That WALGA advocates to the WA State and Commonwealth Governments to address the dire shortage of affordable key worker family housing options in regional and remote towns to encourage families to live and work in regional and remote towns. Social housing is addressed at both the State and Federal levels.

WALGA continues to advocate for State Government to address the critical shortage of housing in Western Australia, especially for regional and remote locations. This issue is identified as a priority in the <u>WALGA 2025</u> <u>Election Platform.</u>

Following WALGA advocacy and feedback from State Council to the Department of Communities Deputy Director General, Housing and Assets at the 10 July 2024

State Council Strategic Forum, the Department of Communities has:

- undertaken to conduct a workshop to discuss options to introduce flexibility to the Government Regional Officer Housing Program parameters,
- asked for Local Government feedback on opportunities to optimise partnership opportunities with Local Government that make capital investment in housing supply viable, and
- opened a Local Government Call for Submissions for social and affordable housing and key worker accommodation on Monday 2 September.

The Director of the Housing Supply Unit within the Treasury presented at the September 2024 Strategic Forum and acknowledged the challenges faced by regional Local Governments including demand for GROH housing and challenges with headworks.

#### **ATTACHMENT 1**



10 May 2024

Co-operative Bulk Handling Ltd

ABN 29 256 604 947

Level 6, 240 St Georges Terrace Perth WA 6000 Australia

GPO Box L886 Perth WA 6842 Australia

Telephone +61 8 9237 9600

Grower Service Centre 1800 199 083

cbh.com.au

Natalie Manton, Chief Executive Officer Shire of Corrigin Via email: <a href="mailto:ceo@corrigin.wa.gov.au">ceo@corrigin.wa.gov.au</a>

Dear Natalie,

# LOTS 20, 21 & 500 (NO. 70) CORRIGIN SOUTH ROAD, CORRIGIN - ADDITIONS & ALTERATIONS TO EXISTING GRAIN HANDLING & STORAGE FACILITY.

CBH is seeking development approval from the Shire of Corrigin for proposed additions and alterations to its existing grain handling and storage facility located at Lots 20, 21 & 500 (No. 70) Corrigin South Road, Corrigin. The subject application is prepared in accordance with Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015 and the Shire of Corrigin Local Planning Scheme No. 2.

#### **Proposal**

The proposed development incorporates the following elements:

- Existing temporary open storage bulkheads 06 & 07 to be removed (capacity 40,610t).
- Existing temporary open storage bulkheads 08 & 09 to be removed (capacity 44,540t).
- Existing 'A' Type storage to be decommissioned (capacity 20,400 tonnes).
- Existing 'E' Type storage to be decommissioned (capacity 13,600 tonnes).
- Existing storage sheds to be removed.
- Existing weighbridge to be removed.
- Existing sample platform to be removed.
- 2 x 350m long x 35m wide x 1.8m high x 45,850 tonnes capacity open storage bulkhead.
- 1 x 340m long x 35m wide x 1.8m high x 44,450 tonnes capacity open storage bulkhead.
- 1 x 335m long x 35m wide x 1.8m high x 43,885 tonnes capacity open storage bulkhead.
- 2 x 500tph auger pit and CLS each with two stackers and trippers.
- 2 x drive-over-grid (D.O.G.) stackers to service proposed OBH06 & OBH07.
- 1 x twin spear Type-11 sample hut with 4 x pull forward lanes.
- 2 x 39m entry/exit weighbridge with hut.
- 18 x RAV7 36.5m truck marshalling area.
- 2 x staff amenities areas.
- 1 x WPC transformer & SMSB pad.
- Sealed internal roads connected to existing internal roads and new site exit.
- General drainage (open drains, culverts, drainage basins) to support expansion works.

#### **Site Details**

The subject land is located less than 2km southwest of the Corrigin townsite. The proposed development is primarily located on Lot 21 and parts of the western and eastern extent of Lot 20 on Deposited Plan 41206 and Lot 500 on Deposited Plan 190194. The site is zoned rural under the Shire of Corrigin Local Planning Scheme No. 2 (LPS2). The subject site is surrounded by CBH owned rural zoned land to the north and rural zoned land to the east and south. Land immediately west of the subject site is reserved railways and further west is Dilling Railway Road and rural zoned land. Access to the site is from the northeast via Walton Street which is a local road under the control of the local government.

#### **Background**

CBH had record back-to-back harvests where its existing storage infrastructure was not enough to keep up with the record crop. At the 20<sup>th</sup> July 2021 Ordinary Council Meeting, the Shire of Corrigin assisted CBH with this storage deficit and resolved to approve CBH's request to waive the requirement to obtain development approval for the temporary construction and use of two emergency storage bulkheads with a total capacity of 40,610 tonnes for a twelve-month period. This temporary works exemption was formalised by Council at its 20<sup>th</sup> September 2022 Ordinary Council Meeting and amended to include another two emergency storage bulkheads with a capacity of 44,540 tonnes. This conditional approval limited the construction and use of these bulkheads for a period of two years which expires on 20<sup>th</sup> September 2024.

Further, at the 17<sup>th</sup> May 2022 Ordinary Council Meeting, the Shire of Corrigin approved two permanent storage bulkheads with a total capacity of 91,700 tonnes at the subject site. The project scope included:

- 2 x 350m long x 35m wide x 1.8m high x 45,850 tonnes capacity open storage bulkheads.
- Upgrades to the marshal/sample/weigh infrastructure to accommodate RAV 7 vehicles.
- Removal and replacement of the existing sample hut with a Type 11 sample station.
- Upgrade of existing roads to include wider pavements to accommodate bypass traffic.
- Removal of two 36m weighbridges with installation of a new permanent 39m weighbridge.
- New site exit to improve traffic flow and cycle time.
- New power supply to provide power capacity to supply the expanded site.
- Site amenities (ablution and crib).

At the time of development approval, the project was scheduled for delivery by October 2022, however; due to the delay in federal environmental approvals associated with the clearing of native vegetation, it has not been possible to deliver the project by this date.

These significant delays have provided CBH an opportunity to re-evaluate the scope of the project considering updated growth rates, forecast receivals to 2033, and CBH's Strategy to 2033. As a result, the scope of works has changed, focussing on enhancing the overall project scope in-line with the Corrigin Master Plan and a revised delivery timeline.

The enhancement to the project scope in-line with the Site Master Plan, will secure the long-term future of the Corrigin site and reduce reliance on essential harvest moves to the already over-subscribed site of Brookton.

#### **Town Planning Considerations**

The proposed development is considered to be consistent with Clause 68 of Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015 and the provisions of the Shire of Corrigin Local Planning Scheme No. 2. The following key matters are further discussed in this report:

- Local Planning Scheme No. 2
- Stormwater Management
- Traffic Impact Assessment
- State Planning Policy 3.7 Planning in Bushfire Prone Areas
- Environmental Management
- Noise and Dust Management

#### Shire of Corrigin Local Planning Scheme No. 2

The subject land is zoned rural under the Shire's LPS2. It is understood, through past development applications, that through its grain handling and storage activities the Shire of Corrigin deem the best fit use class for CBH operations to be the land use class of 'Warehouse/Storage' which is defined in LPS2 as:

'Warehouse/Storage means premises including indoor or outdoor facilities used for the storage of goods, equipment, plant or materials; or the display or sale by wholesale of goods.'

It is noted that the 'warehouse/storage' land use has already been approved for the subject site and the proposal is therefore solely subject to the site requirements prescribed by Table 3 of LPS2 which sets out the zone/use development requirements for various land uses to ensure the scale, nature, design, general appearance, and impact of such uses is compatible with the objectives of the zone in which the development is located as well as the general purposes and aims of the Scheme.

It is noted that LPS2 stipulates that permitted non rural land use development requirements within the rural zone are to be determined by the local government. Notwithstanding noting the large landholding of the subject site and the proposal is an extension to existing CBH operations it is considered that the setbacks, height, plot ratio and number of car parking spaces proposed by this application are appropriate to the rural zone in which the development is located.

#### Stormwater Management

The stormwater drainage system has been designed in accordance with the requirements of CBH Design Specification TS10A – Civil Earthworks, Roads and Drainage and followed guidelines set out in the Australian Rainfall & Runoff. Open drains and culverts have been designed to convey the 20-year ARI rainfall event.

The stormwater management strategy is to cater for surface runoff within the site, to minimise flooding and damage to critical infrastructure, Surface water runoff up to the 20-year ARI event is to be conveyed via an open drainage system. Surface water incident to the site from up to the 20-year ARI critical storm event is to be detained onsite within a proposed detention basin to the northwest and to the southwest with a controlled outflow limited to the predevelopment flow rates.

Further detail is provided as part of EDG's Drainage Report attached in support of this application for development approval that documents the drainage and associated design constraints for the proposed expansion of the CBH Corrigin facility.

#### **Traffic Management**

In the event that local production exceeds the existing capacity of the Corrigin receival site CBH must out-turn grain simultaneously (harvest essential moves / HEMs) to continue to offer a service to growers and by doing so increases the traffic on surrounding roads during the peak harvest period. The proposal to increase the storage capacity of the Corrigin site, will enable CBH to reduce the volume of HEMs, with the intention of reducing trucks on road during the harvest, and instead holding the grain on site to out-tun over the remaining 9 months of the year when the road network is less busy.

Table 5 within the Traffic Impact Statement included in support of this development application provides a comparison between the record harvest peak truck movements, which would be required with or without the additional storage proposed by CBH as part of this development application. As shown, if the proposed storage expansion does not occur, then an additional 2,319 truck movements (52 truck movements per day) would be required during the harvest period. As the proposed development will result in a net decrease in peak hour vehicle during the harvest period, the development has a positive impact on the surrounding road network during the peak traffic period.

Whilst the out-loading task outside of harvest increases proportionate to the level of reduced HEMs with the proposed expansion, the same volume of grain is out-turned outside of the peak traffic period at a lower intensity. Table 6 demonstrates that by holding grain during harvest through increased onsite storage capacity, the same intensity of out-loading (33 trucks per day) continues during the less busy non harvest months for an additional 60 days than if the expansion was not built.

According to the WAPC *Transport Impact Assessment Guidelines*, an increase below 10 peak hour vehicles is considered to have a low impact and is generally deemed acceptable without requiring detailed capacity analysis through a Traffic Impact Assessment. Notwithstanding a Traffic Impact Statement has been provided in support of this development application demonstrating that the existing sealed and carriageway widths, intersection sight distances, intersection warrants and swept path movements are deemed acceptable and require no further consideration as part of the assessment of this development application.

#### **Environmental Management**

CBH lodged an Environment Protection and Biodiversity Conservation (EPBC) referral with Department of Climate Change, Energy, Environment and Water (DCCEEW) on 11<sup>th</sup> August 2021.

On 21<sup>st</sup> September 2021 CBH received notification from DCCEEW the project was deemed a 'controlled action' under the EPBC Act. A controlled action is a proposed activity that will have significant impact on matters of national environmental significance. As a result, CBH is required to develop an environmental offset strategy to compensate for the residual impact of clearing at the site. Throughout 2022, CBH engaged with an external environmental consultant to develop an environmental offset proposal and offset management plan to satisfy the requirements of the EPBC Act. The proposal was submitted to DCCEEW in December 2022 and the initial reply is expected in May.

A review of Schedule 6 of the Environmental Protection Act (EP Act) and the Environmental Protection Regulations was undertaken to determine if any exemptions could be applied to the proposed development. Based upon this assessment, CBH will not apply for a native vegetation clearing permit (NVCP) with Department of Water and Environmental Regulation (DWER) as the clearing will be conducted in accordance with Regulation 5 Item 1 (Clearing to construct a building). This allows for clearing of up to 5 ha on the property for the purposes of constructing a roofed building or other roofed structure.

An environmental approvals overview report has been prepared to summarise the results of the ecological surveys and the environmental approvals and is provided as an attachment in support of this application for development approval.

#### State Planning Policy 3.7 – Planning in Bushfire Prone Areas (SPP 3.7)

A portion of the lot falls within a Bushfire Prone Area. Clause 78D of Part 10A of the Deemed Provisions 'Bushfire Risk Management' requires a BAL assessment for the development site if the development site is in a bushfire prone area. Specifically, the proposed additional staff amenities building is located within the extent of the Bushfire Prone Area.

Clause 2.6 of the 'guidelines for planning in bushfire prone areas' which are to be read in conjunction with the application of SPP 3.7 allows the local government to apply exemptions from the requirements of SPP 3.7 where there is no intensification of land use and/or the proposal is not increasing the bushfire threat.

The guidelines define 'intensification of land use' as planning proposals that result in an increase of visitors, residents, or employees; or involve the occupation of employees on site for more than three hours at a time for multiple periods during the week.

The proposed works the subject of this development application aim to improve marshall, sample and weigh inefficiencies, out-loading and traffic flow concerns easing congestion on site to better enable harvest movements out, reduce cycle time and provide some relief to oversubscription. If a site is full, CBH is required to outload grain from the site during harvest to restore available capacity and allow grain to continue to be received from nearby farms. Therefore, the same truck movements as existing arrangements will occur on site irrespective of the increased storage capacity proposed as grain production and associated truck movements are driven by local production. As such staff members are intended to remain the same as per existing operations.

As the proposed development does not alter the number of visitors or employees at the CBH Corrigin facility and the habitable structures themselves will not involve the occupation of employees for more than three hours at a time, there is no intensification of land use caused by the proposed development. The Shire of Corrigin is therefore able to utilise its discretion in the application of SPP 3.7 during the decision-making process.

#### Noise & Dust Management

CBH shall ensure that noise from the specification and installation of any mechanical equipment as well as traffic and construction noise does not exceed assigned levels prescribed in the *Environmental Protection (Noise) Regulations 1997*, when it is received at a neighbouring property.

Dust Management will comply with *Environmental Protection Act 1986* and the relevant *National Environmental Protection Measures*. Due to the nature of grain handling and storage, some dust can be produced from a range of activities. A Dust Management Plan has been provided in support of the application that defines the requirements associated with the process of minimising the impact of dust emission during operations at the Corrigin facility.

CBH is committed to improving the overall environmental impacts of its business and in achieving the environmental objectives outlined in the CBH Group Health, Safety and Environmental Policy. CBH undertakes frequent noise and dust monitoring across its sites to ensure that dust and noise levels are measured and are mitigated whenever there is an exceedance.

#### Conclusion

The proposed additions are aligned with the planning framework for the area specifically the rural zone in which it is located, and it is not considered to result in any new amenity impacts to the surrounding area. CBH respectfully requests the Application for Development Approval is considered by the Shire of Corrigin expeditiously given the straightforward and temporary nature of the application and its general compliance with the Shire's planning framework.

Should you have any question in relation to the details provided in this submission, please contact Timothy Roberts on 9216 6061 or <a href="mailto:timothy.roberts@cbh.com.au">timothy.roberts@cbh.com.au</a>

Yours Sincerely,

**Timothy Roberts** 

Lead – Planning & Approvals

# FORM 1 - APPLICATION FOR DEVELOPMENT APPROVAL



Owner Details				2000, 2006	MEN AND	A News of	0.011298		STATE OF THE STATE			
Name(s):	Co-ope	rative I	Bulk Handling Ltd	1								
ABN (if applicable)	29 256	604 67	4									
Mailing Address:	Level 6	No. 24	0 St George's Te	errace								
	Perth, V	Vester	n Australia	Postcode: 6000								
Work Phone:	08 9216 60	061		Fax:								
Home Phone:				Email:	e a			STITIS I	34 3457 44 94			
Mobile Phone:					timothy	.robe	rts@	cbh.c	com.au			
Contact Person for	Correspond	dence:	Timothy Ro	berts								
Signature:	Dort		Date:	19/03/2	024							
Signature:				Date:								
The signature of the the purposes of sign Planning Schemes)  Applicant Details (	ning this appl Regulations 2	lication 2015 Scl	an owner includes t hedule 2 clause 62(2	he persons i								
Name(s):	As Abov		wiicij	116 X 230								
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\$ 5 120 49 120 N 10 N						Post	code:					
Work Phone:				Fax:		2529 653	O'ALLES CONTROL					
Home Phone:				Email:								
Mobile Phone:												
Contact Person for	Correspond	dence:										
The information and the local government			The state of the s			Yes	1	No				
Signature:	•			Date:								
Property Details	PHAZEMET.											
Lot No:	20, 21	& 500	Street No:	70		Location	n No:					
Diagram or Plan No	41206 & 1	190194	Certificate of Title Volume No:	e 2574	& 2048	Folio:		593, 594 & 699				
Title encumbrances	(e.g. easer	ments,	restrictive covena	nts):								
Refer to 3 x Cert approval.	ificate of	Titles	included as an	attachm	ent to this a	applicati	on for	develo	pment			
Street Name: Cor	rigin South	Road	· ·	Suburb:	Corrigin							
Nearest street inte				or my track the								
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<sup>\*</sup>The above information can be obtained by referring to the Certificate of Title. A copy of the Certificate of Title should be provided with an application for works. Certificates can be purchased through Landgate directly, or by paying the access fee along with your application fee.

Proposed Developmen	it						KO PAR		
Nature of Developmen	t.	Works		Use		Wor	ks and Use		<b>√</b>
Is an exemption from o	levelop	oment clain	ned for pa	ort of the d	levelopment?	Yes		No	1
If yes, is the exemption	for:	Works		Use					
Description of proposed works and/or land use:	& 09 to storage   Existia x 340m 43,885 (D.O.G entry/e: pad   S	te removed (ca to be decommis ng sample platfor long x 35m wide tonnes capacity .) stackers to ser xit weighbridge w	pacity 44,540t) ssioned (capac m to be remov e x 1.8m high x open storage t vice proposed vith hut   18 x F ads connected	Existing 'A' T   ity 13,600 tonnoved   2 x 350m le   44,450 tonnes   bulkhead   2 x 5   OBH06 & OBH   RAV7 36.5m true	o be removed (capac ype storage to be de- es)   Existing storage ong x 35m wide x 1.8 capacity open storag 00tph auger pit and 0 07   1 x twin spear Tock marshalling area   mal roads and new s	commissione sheds to be im high x 45, ge bulkhead CLS each wi ype-11 samp 2 x staff am	ed (capacity 20,40 removed.   Existi ,850 tonnes capa   1 x 335m long x th two stackers a ple hut with 4 x pu enities areas   1 x	ou tonnes) ing weight city open : 35m wide nd trippers ill forward (WPC trar	Existing 'E' Type oridge to be remove storege bulkhead   e x 1.8m high x s   2 x drive-over-gri lanes   2 x 39m nsformer & SMSB
Description of exemption claimed (if relevant)	NA	4							
Nature of any existing buildings and/or land use:	Exis	ting Grain	n Handli	ng & Sto	rage Facility	y			
Approximate cost of pr	opose	d developm	nent:	\$	12,000,000.	00			
Estimated time of com	oletion	: Octo	ber 2025	50					
Checklist of required m	nateria	ls	558.60		IOMN M			17.77	Attached?
(i) the location of the site; (ii) the existing and processes, wether the structures and processes, wether the existing and processes, wether existing and processes, wether existing and processes, wether existing and processes to be endown the existing and processes with the location, number the location and control of the location and control of the location, dimensional control of the location of the	roposed and tri lands a environ roposed ected of roposed per, dim limensi oods on nsions a is propent of a	d ground level ype of all exi- nd native venemental feat d use of the storn the site; d means of a nensions and ons of any a r commodition	els over the isting struction of tures that a site, include ccess for particular of the proposes to and first any open ace and lar	e whole of the stures and ender the site; are proposed in groposed edestrians all car park sed to be promethe site; astorage or pen storage and scaping pen scapin	the land the sultenvironmental feed to be removed hours of operand vehicles to ing spaces intervided for the ee and the means trade display as or trade display aroposed for the roposed for ropos	ed; ration, and from and from and from anded to be loading a as of acce area and p ay area; e site;	he application including and buildings and the site; are provided; and unloading as to and from particulars of the providers of the provided;	and g of m	<b>✓</b>
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A report on any specialist applicant to undertake su studies.									<b>V</b>
Any other plan or informa	ition th	at the local	governmer	nt reasonab	ly requires				
Form 2 for providing addi						tisement	ts		
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OFFICE USE ONLY	(VIII)	20000		A WAS PA		1000000			(A. B.) (7)
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Fees Paid:	1	1	A	pplication	No.	P	1		
Received By:			Re	ecord No.		- 1			
Date Received	1	1	Re	eceipt No.					



Co-operative Bulk Handling Ltd
ABN 29 256 604 947
Level 6, 240 St Georges Terrace
Perth WA 6000 Australia
GPO Box L886
Perth WA 6842 Australia
Telephone
+61 8 9237 9600
Grower Service Centre

1800 199 083 cbh.com.au

# CONSENT TO SIGN APPLICATIONS FOR DEVELOPMENT APPROVAL AND BUILDING PERMITS FOR LAND OWNED, LEASED OR LICENSED BY CO-OPERATIVE BULK HANDING LIMITED

This is to confirm that Co-operative Bulk Handling Limited (**CBH**) authorises each of the following CBH personnel to sign and lodge on behalf of CBH all applications for development approval and building permits (and all documents associated with those applications) in connection with land owned, leased or licensed by CBH:

- 1. Brianna Peake, Chief Stakeholder Relations, Sustainability and Strategy Officer
- 2. Rob Dickie, Head of Government & Industry Relations
- 3. Kellie Todman, Manager Government & Industry Relations
- 4. Aaron Lohman, Principal Planning & Approvals
- 5. Timothy Roberts, Lead Planning and Approvals

Should you require further information regarding any present or future applications for development approval or building permits, please do not hesitate to contact CBH Planning Approvals at <a href="mailto:PlanningApprovals@cbh.com.au">PlanningApprovals@cbh.com.au</a>.

This consent takes effect on the last date written below and from that date supersedes any and all previous consents to sign and lodge on behalf of CBH applications for development approval and / or building permits (and documents associated with those applications) in connection with land owned, leased or licensed by CBH.

Yours faithfully

11. 1	lk Handling Limited by or in the presence of:
Signature of Director	Signature of Director or Company Secretary
Simon STOAD	RICHARD CODLING
Name of Director	Name of <del>Director or</del> Company Secretary
30/1/2024	30/1/2024.
Date of signing	Date of signing

WESTERN



TITLE NUMBER

Volume

Folio

2574 593

### RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.



#### LAND DESCRIPTION:

LOT 20 ON DEPOSITED PLAN 41206

#### **REGISTERED PROPRIETOR:**

(FIRST SCHEDULE)

CO-OPERATIVE BULK HANDLING LTD OF GPO BOX L886, PERTH

(T J027160) REGISTERED 20/9/2004

#### LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:

(SECOND SCHEDULE)

- 1. EASEMENT BURDEN CREATED UNDER SECTION 27A OF T. P. & D. ACT SEE DEPOSITED PLAN 41206
- 2. J027159 NOTIFICATION. TOWN PLANNING AND DEVELOPMENT ACT 1928 REGISTERED 20/9/2004.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.

Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

#### **STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP41206 PREVIOUS TITLE: 1615-369

PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.

LOCAL GOVERNMENT AUTHORITY: SHIRE OF CORRIGIN

WESTERN



#### AUSTRALIA

REGISTER NUMBER 21/DP41206

VOLUME

2574

DUPLICATE 5

DATE DUPLICATE ISSUED

24/3/2020

FOLIO

594

### RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

RCROBETT

#### LAND DESCRIPTION:

LOT 21 ON DEPOSITED PLAN 41206

#### REGISTERED PROPRIETOR:

(FIRST SCHEDULE)

CO-OPERATIVE BULK HANDLING LIMITED OF LEVEL 6 240 ST GEORGES TERRACE PERTH WA 6000 (T O362114) REGISTERED 9/3/2020

#### LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:

(SECOND SCHEDULE)

EASEMENT BURDEN CREATED UNDER SECTION 167 P. & D. ACT FOR ABOVE GROUND ELECTRICITY PURPOSES TO WESTERN POWER CORPORATION SEE DEPOSITED PLAN 41206

Warning:

A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.

\* Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.

Lot as described in the land description may be a lot or location.

------END OF CERTIFICATE OF TITLE------

#### STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP41206 PREVIOUS TITLE: 1615-369

PROPERTY STREET ADDRESS: 70 CORRIGIN SOUTH RD, CORRIGIN.

SHIRE OF CORRIGIN LOCAL GOVERNMENT AUTHORITY:

WESTERN



TITLE NUMBER

Volume

Folio

2048

699

### RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

Boroberts
REGISTRAR OF TITLES

#### LAND DESCRIPTION:

LOT 500 ON DEPOSITED PLAN 190194

#### **REGISTERED PROPRIETOR:**

(FIRST SCHEDULE)

CO-OPERATIVE BULK HANDLING LTD OF 22 DELHI STREET, WEST PERTH

(A F951662) REGISTERED 22/9/1995

#### LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:

(SECOND SCHEDULE)

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.

Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

#### **STATEMENTS:**

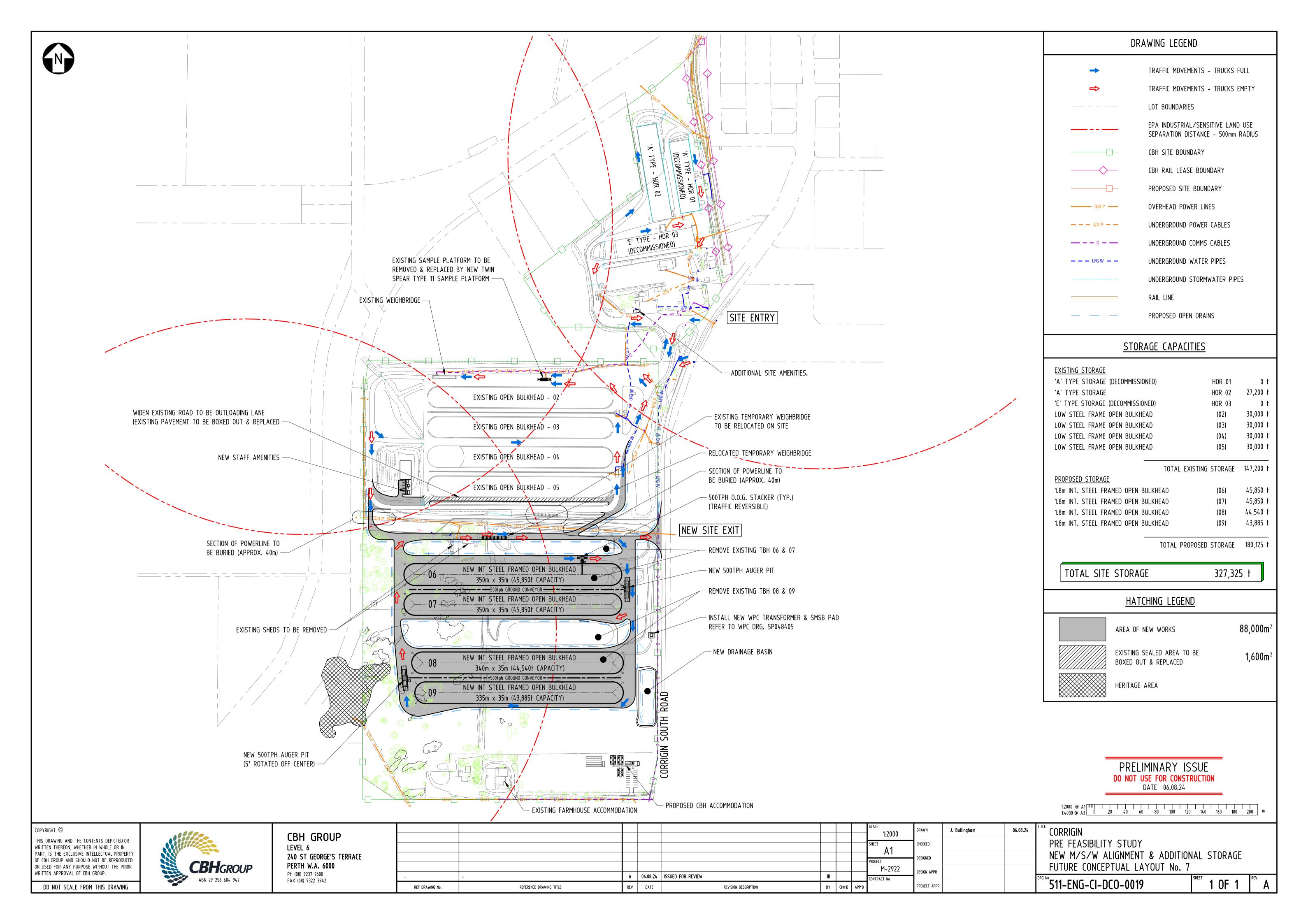
The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

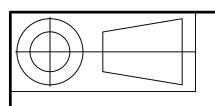
SKETCH OF LAND: 2048-699 (500/DP190194)

PREVIOUS TITLE: 2048-699

PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.

LOCAL GOVERNMENT AUTHORITY: SHIRE OF CORRIGIN





# **INSTALLATION NOTES:**

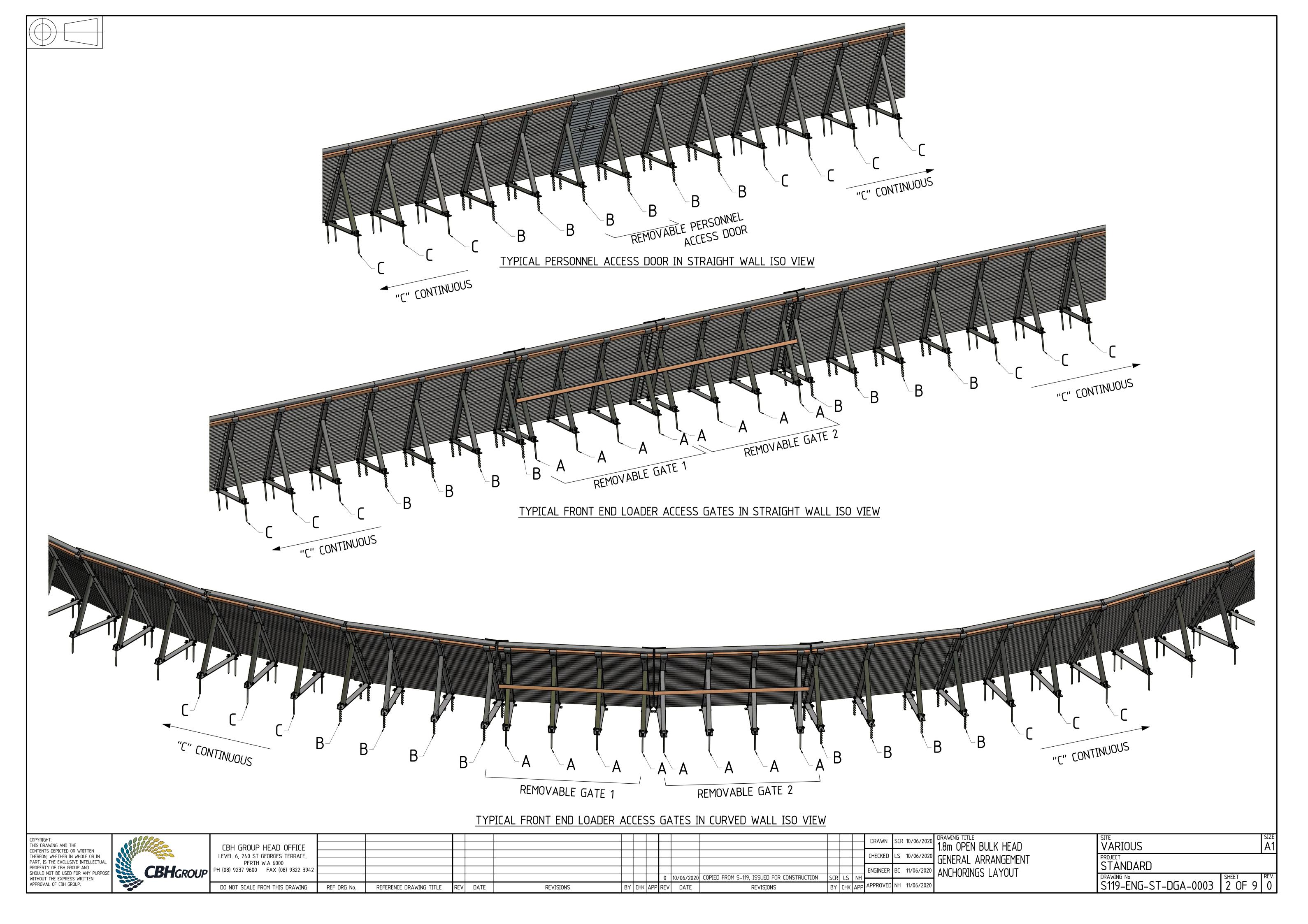
- OBH LENGTH AND WIDTH DIMENSIONS ARE SPECIFIED FROM REAR PIN TO THE OPPOSITE REAR PIN. REFER PROJECT SPECIFIC SITE LAYOUT DRAWING FOR DIMENSIONS.
- TOLERANCE FOR OVERALL OBH WIDTH AND LENGTH ARE +/- 50MM. TOLERANCE FOR FRAME SPACING +/- 10mm.
- NOTE DIFFERENT ANCHORING DETAILS FOR DOOR/GATES AND FRAMES EITHER SIDE OF BULKHEAD OPENINGS. REFER ANCHORING DETAILS ON SHEETS 2 AND 3.
- NOTE ADDITIONAL Z-CAPPING, WOOD AND CLADDING TRIMMING REQUIRED AT GATE JOINS. REFER SHEETS 6 AND 8 FOR DETAILS.
- 5. TYPICAL CLADDING OVERLAP IS 200mm, CENTERERED OVER THE CENTERLINE OF THE STRUT, FOR ALL JOINS EXCEPT AT GATE AND DOOR JOINS. REFER SHEETS 6 - 9.
- 6. ALL Z-CAPPING MUST BE ALIGNED AS ACCURATELY AS POSSIBLE. ANY MISALIGNMENT IN Z-CAPPING WILL TEAR THE OBH TARP. REFER NOTES ON SHEETS 6, 8 AND 9 FOR TOLERANCES.
- 7. FOUR PERSONNEL ACCESS DOORS TO BE INSTALLED AS SHOWN. TWO INSTALLED EACH SIDE AT MIDPOINTS BETWEEN END OF OBH AND CENTRE BULKHEAD OPENING.
- 8. THREE FUMIGATION T-PIECES TO BE INSTALLED ON SAME SIDE AS ELECTRICAL CONNECTION. REFER SHEETS 1 AND 7 FOR INSTALLATION DETAILS. REFER CBH DRAWING S119-ENG-ME-DER-0001 FOR VENDOR DRAWING OF T-PIECE.
- 9. DRAWING DEPICTS TYPICAL OBH SIZE OF 35M WIDE BY 300M LONG AND ASSOCIATED STANDARDISED REQUIRED QUANTITIES OF FUMIGATION TEES, PERSONAL ACCESS DOORS AND FRONT END LOADER ACCESS GATES. SITE SPECIFIC OBH REQUIREMENTS SHALL BE CONFIRMED WITH THE NOMINATED CBH REPRESENTATIVE PRIOR TO CONSTRUCTION.
- 10. BULKHEAD CONTENTS ARE INTENDED TO BE FUMIGATED IN A SEALED ENVIRONMENT BY USE OF WALL CANVICON AND OVER STACK TARPS THE CONTRACTOR SHALL MINIMISE ANY MEANS WHICH COULD DETRIMENTALLY AFFECT THE SEALING CAPABILITY, SUCH AS SHARP EDGES THAT COULD CUT TARP.

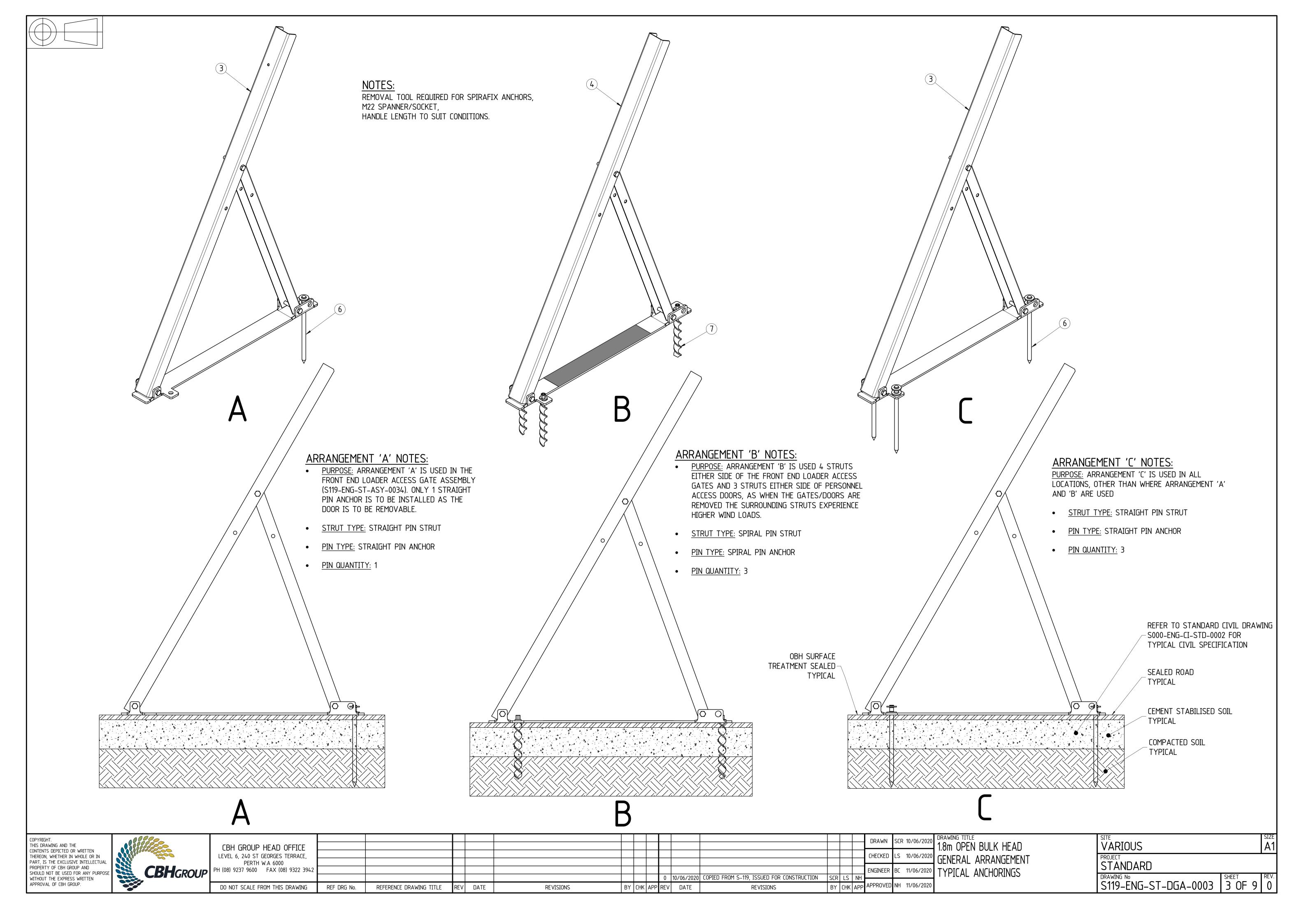
		PAR	TS LIS	T (PER UN	JIT)				
ITEM No	DESCRIPTION	WIDTH	LENGTH	QTY	CBH OR SUPPLIER PART No	PROCESS	SAP Code	MASS Kg	TO DETAIL
1	FRONT END LOADER ACCESS GATE			REFER NOTE	S119-ENG-ST-ASY-0034	FIELD FIT	N/A	184.4	Yes
2	PERSONNEL ACCESS DOOR			REFER NOTE	S119-ENG-ST-ASY-0017	FITTING	N/A	17.1	Yes
3	STRAIGHT PIN STRUT ASSEMBLY			REFER NOTE	S119-ENG-ST-ASY-0004	FITTING	N/A	36.4	Yes
4	SPIRAL PIN STRUT ASSEMBLY			REFER NOTE	S119-ENG-ST-ASY-0005	FITTING	N/A	36.2	Yes
5	CUSTOM ORB ZINC ALUME 0.42mm BMT 550 MPa MIN. (YIELD)	762	3200	REFER NOTE	S119-ENG-ST-PRT-0010	FITTING	DREQ	1.3	No
6	DIA 20 STRAIGHT PIN ANCHOR		420	REFER NOTE	S-014-A0000	FIELD KIT	DREQ	1.1	Yes
7	SPIRAL PIN ANCHOR		300	REFER NOTE	S119-ENG-ST-DER-0052	FITTING	DREQ	0.8	Yes
8	Z CAPPING 1.6PL PGI	300	3000	REFER NOTE	S119-ENG-ST-PRT-0011	FAB SHEET	108015	11.4	Yes
9	TIMBER SAWN KARRI STRUC3 75mmx50mmx3m	75	3000	REFER NOTE	S119-ENG-ST-PRT-0014	FITTING	108594	6.2	No
10	TARP CLAMP 6PL	130	257	REFER NOTE	S119-ENG-ST-PRT-0012	FAB PROFILE	107901	1.6	Yes
11	FUMIGATION TEE PIECE			REFER NOTE	S119-ENG-ME-DER-0001	FITTING	N/A		Yes
12	RUBBER STRIP 450mm WIDE, 8mm THICK	450	2050	REFER NOTE	S119-ENG-ST-PRT-0048	FIELD KIT	DREQ	6.9	No
13	M10 x 120 GALV BOLT GR8.8 (50mm THREAD Min.)			REFER NOTE		FIELD KIT	DREQ	0.1	No
14	M10 GALV. NUT			REFER NOTE		FIELD KIT	DREQ	0.0	No
15	M10 GALV FW			REFER NOTE		FIELD KIT	DREQ	0.0	No
16	METAL TEK SCREW, HEX HEAD, 14g-20x22mm, CLASS 4, WITH SEAL			REFER NOTE		FIELD KIT	DREQ	0.0	No
17	METAL TEK SCREW, HEX HEAD, 14g-20x45mm, CLASS 4, WITH SEAL			REFER NOTE		FIELD KIT	DREQ		No
18	NOVALAST LTM 151			REFER NOTE		FIELD KIT	DREQ		No
19	BOSTIK SEAL AND FLEX 1			REFER NOTE		FIELD KIT	DREQ		No

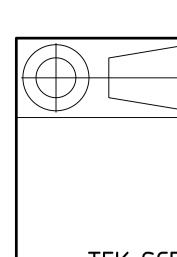
\*\* QTY NOTE: TO CALCULATE EXACT ORDER QUANTITYS, REFER TO

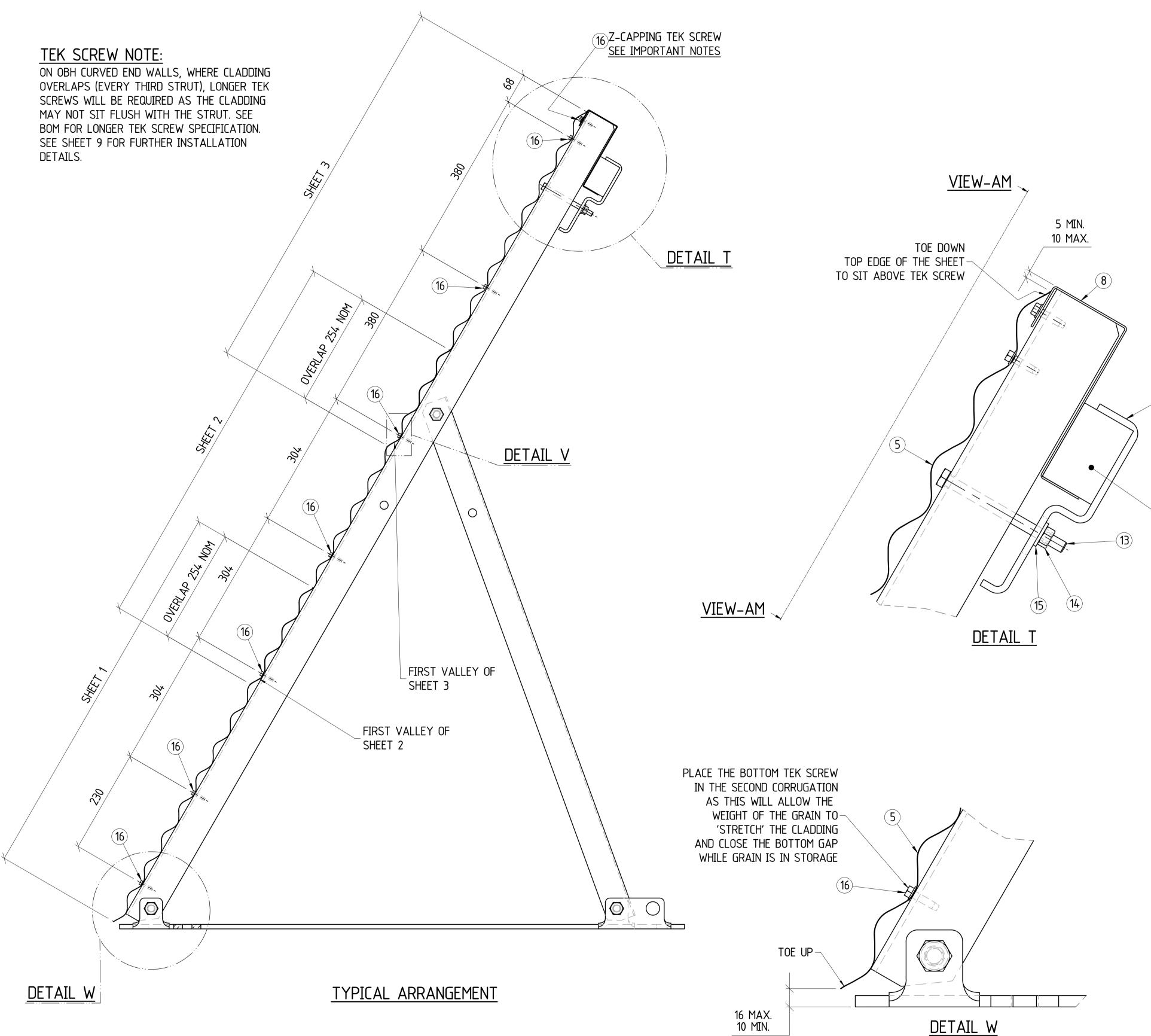
THE 'CBH OBH PROCUREMENT CALCULATOR'-S119-ENG-ST-CAL-0001 REFER PROJECT SPECIFIC SITE LAYOUT DRAWING FOR TOTAL OBH LENGTH, MEASURED FROM OUTER PIN TO OUTER PIN ±50mm OBH LENGTH / 2 DETAIL E OBH LENGTH / 4 REFER SHEET 5 TYPICAL BOTH ENDS & PERSONNEL ACCESS & LOADER ACCESS & PERSONNEL ACCESS & LOADER ACCESS LOADER ACCESS OVERALL OBH WIDTH 35 METERS MEASURED FROM OUTER PIN TO OU BULK DETAIL A REFER SHEET 6 DETAIL C DETAIL D DETAIL B REFER SHEET 9 REFER SHEET 8 REFER SHEET 7 OBH/8 OBH/8 OBH/8 PLAN S119-ENG-ST-DGA-0003 DRAWING TITLE

1.8m OPEN BULK HEAD COPYRIGHT. VARIOUS THIS DRAWING AND THE CBH GROUP HEAD OFFICE CONTENTS DEPICTED OR WRITTEN LEVEL 6, 240 ST GEORGES TERRACE, THEREON, WHETHER IN WHOLE OR IN PART, IS THE EXCLUSIVE INTELLECTUAL GENERAL ARRANGEMENT STANDARD PERTH W.A 6000 PROPERTY OF CBH GROUP AND OVERALL LAYOUT PH (08) 9237 9600 FAX (08) 9322 3942 NGINEER BC 11/06/2020 SHOULD NOT BE USED FOR ANY PURPOS S119-ENG-ST-DGA-0003 1 OF 9 0 0 10/06/2020 COPIED FROM S-119, ISSUED FOR CONSTRUCTION SCR LS NH WITHOUT THE EXPRESS WRITTEN APPROVAL OF CBH GROUP. APPROVED NH 11/06/202 BY CHK APP REV DATE DO NOT SCALE FROM THIS DRAWING REF DRG No. REFERENCE DRAWING TITLE REVISIONS REVISIONS





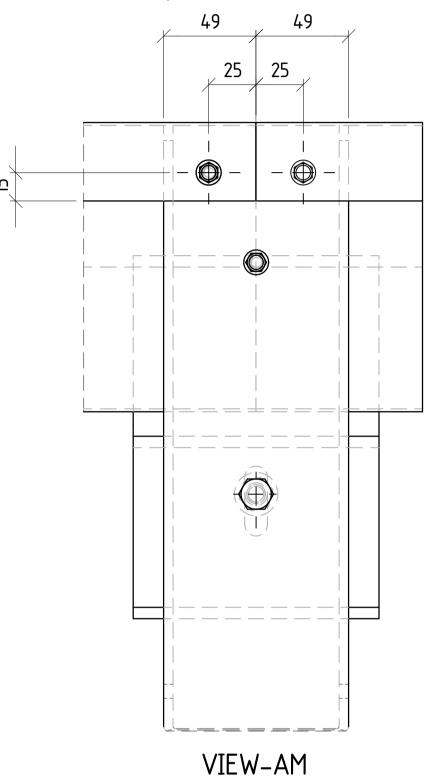




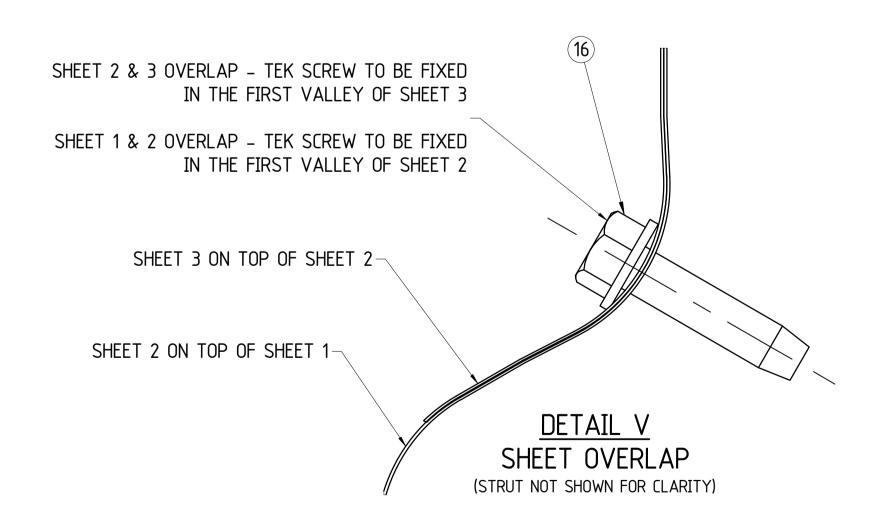
# IMPORTANT NOTE:

TYPICAL ALL JOINTS, EXCEPT DOOR/GATE JOINS:

- 'Z' CAPPING SHALL BUTT JOIN TO THE CENTRE LINE OF THE STRUT.
- ALL Z CAPPING MUST BE ALIGNED AS ACCURATELY AS POSSIBLE. ANY MIS-ALIGNMENT IN THE 'Z' CAPPING WILL CREATE SHARP EDGES, WHICH MAY DAMAGE THE OBH TARP. MAXIMUM 'Z' CAPPING MISALIGNMENT TO BE 2mm IN ALL DIRECTIONS.
- WHERE 'Z' CAPPING BUTT JOINS OVER A STRUT, FIX 'Z' CAP WITH 2 x TEK SCREWS, ONE IN EACH 'Z' CAP (SHOWN BELOW)
- WHERE 'Z' CAPPING PASSES OVER A STRUT, FIX 'Z' CAP WITH 1 x TEK SCREW, INLINE WITH THE CENTRE OF THE STRUT.



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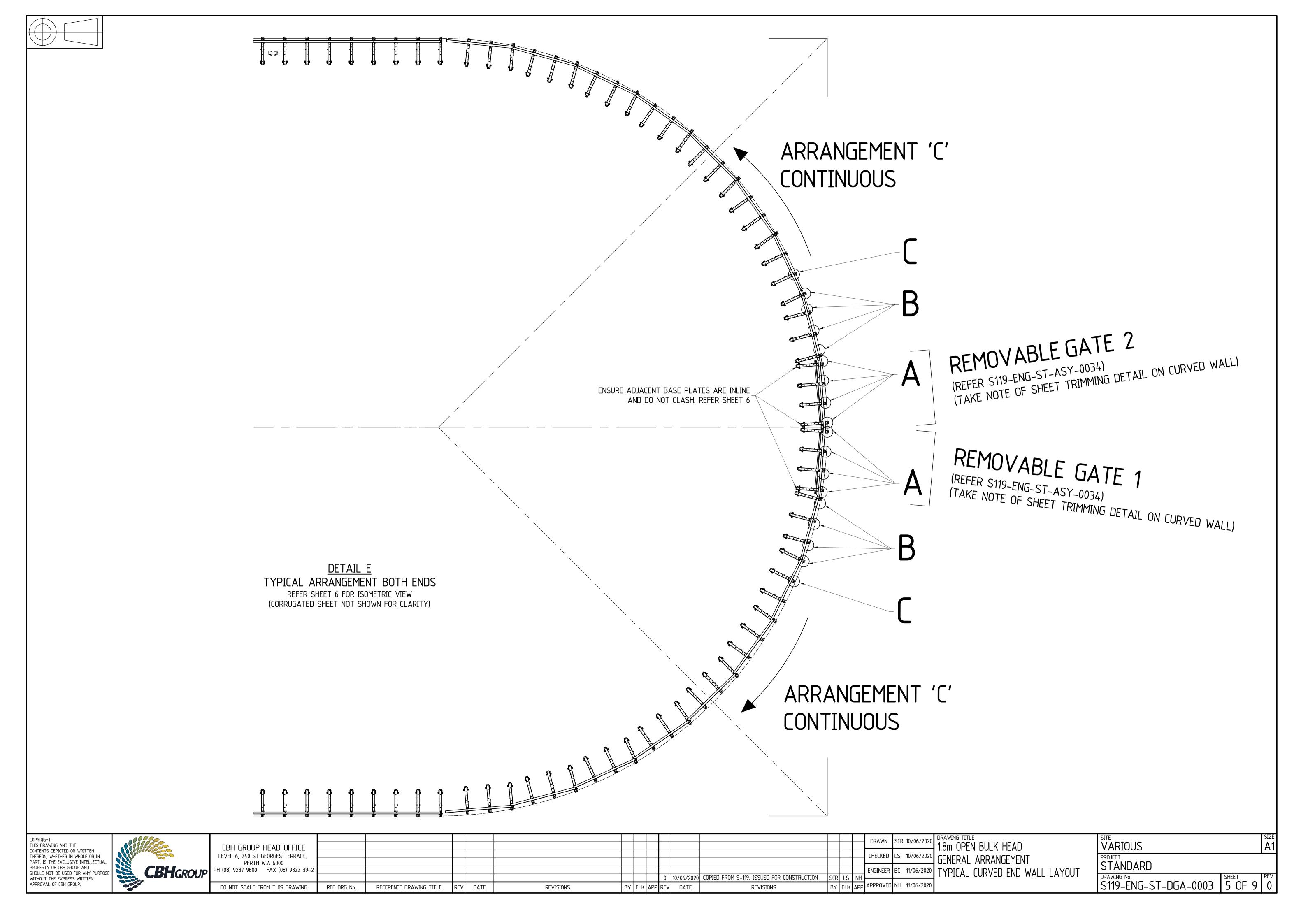
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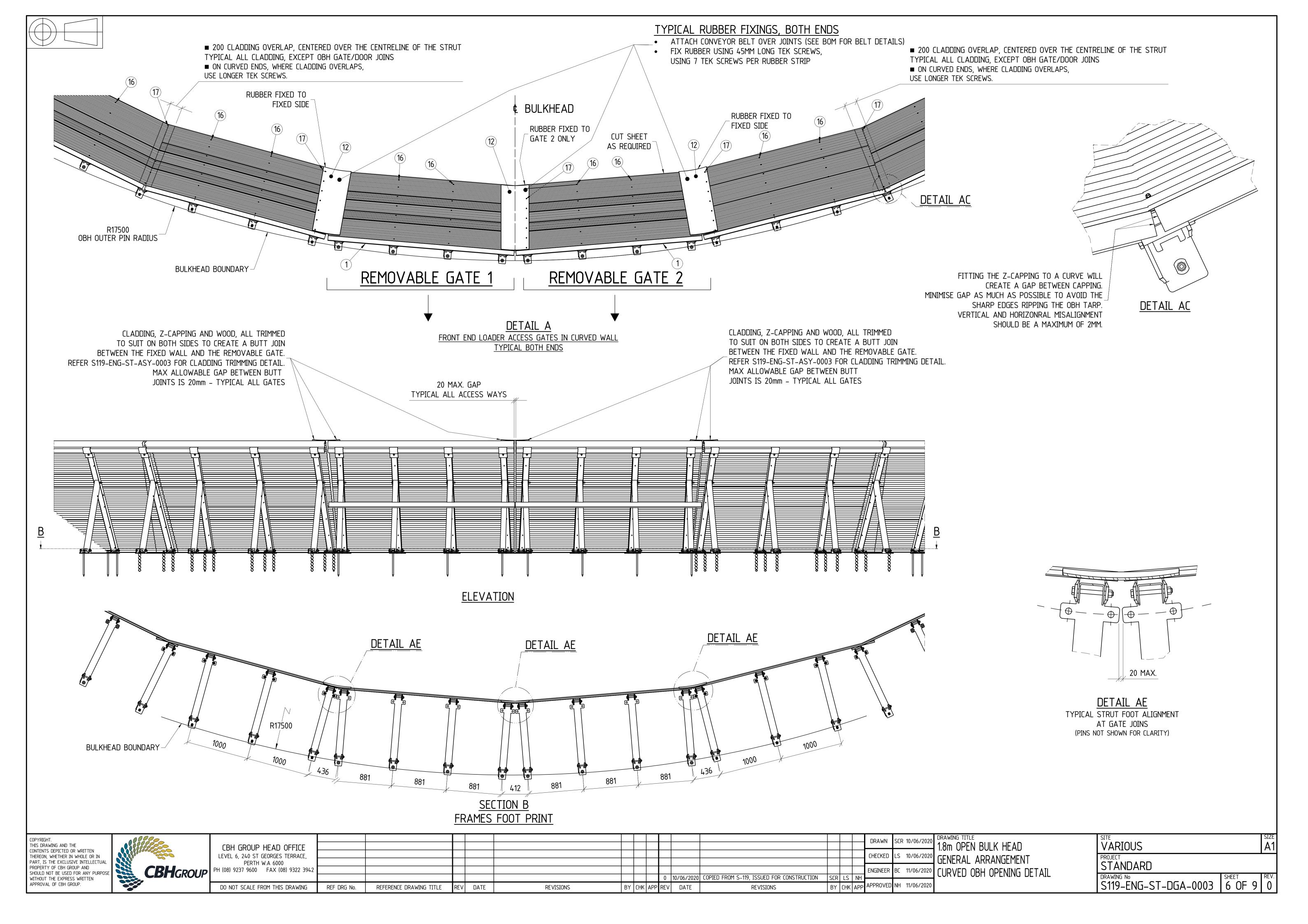
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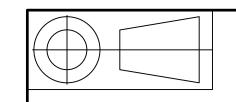
1.8m OPEN BULK HEAD GENERAL ARRANGEMENT TYPICAL WALL ASSEMBLY

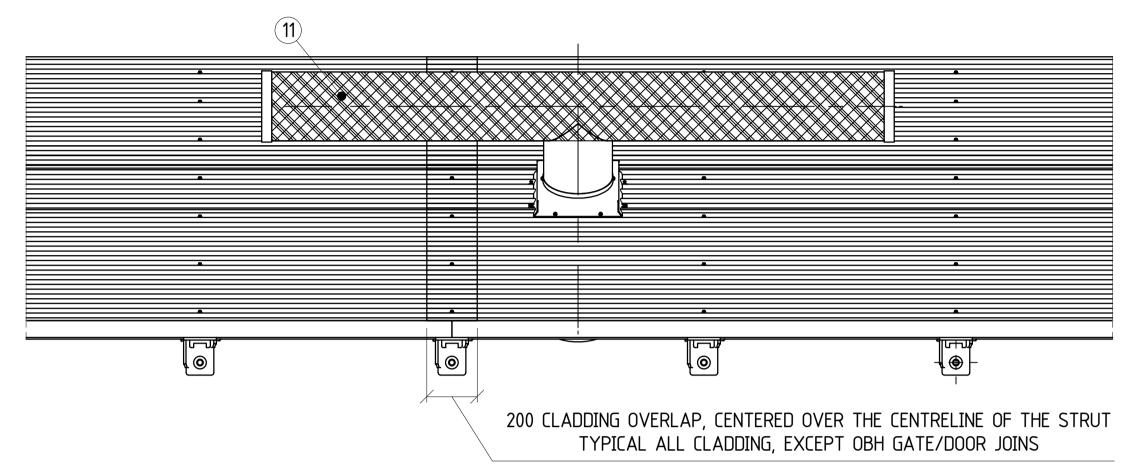
VARIOUS

STANDARD S119-ENG-ST-DGA-0003 4 OF 9 0

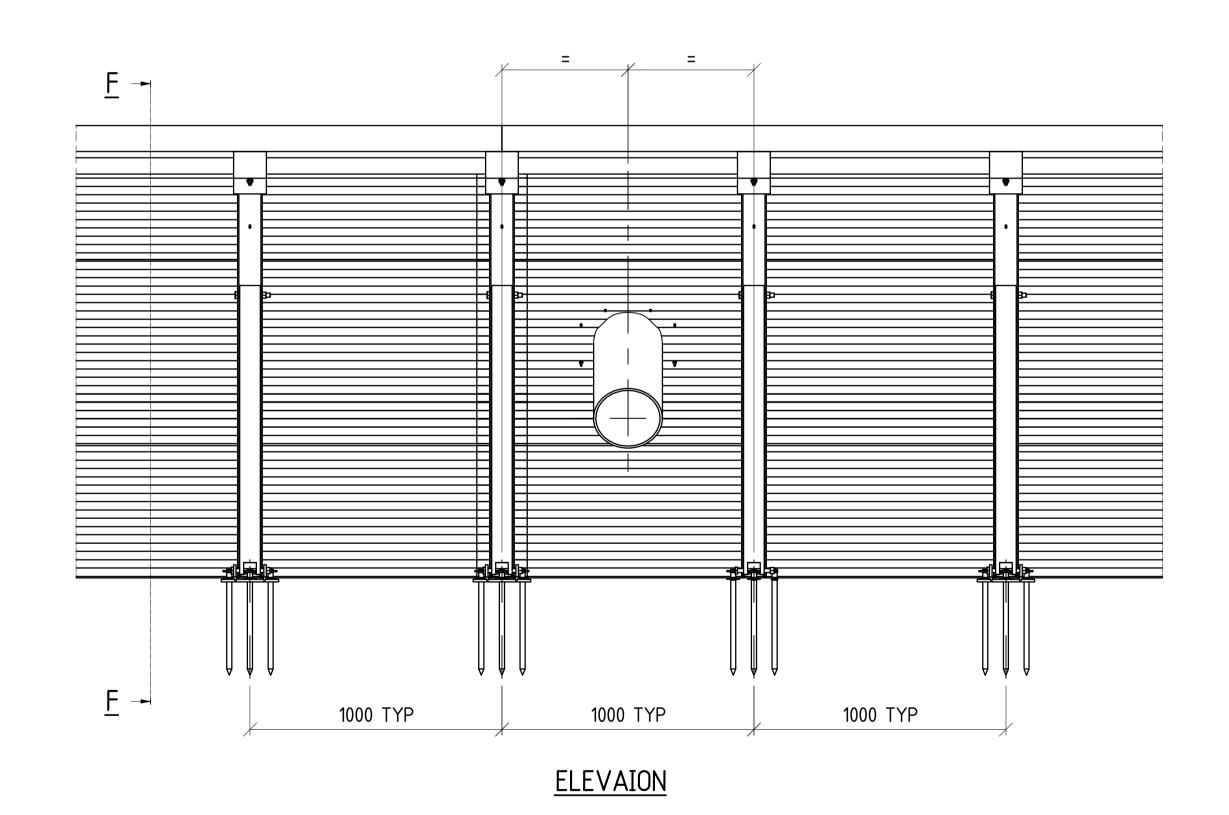


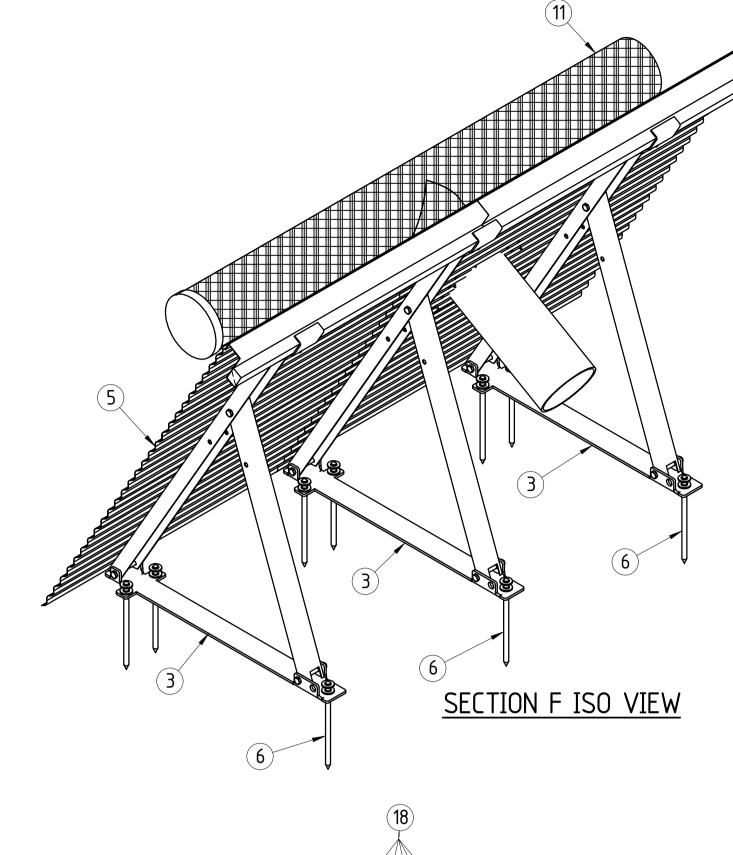


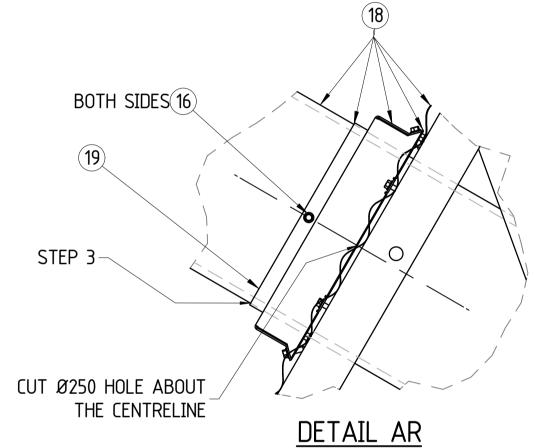


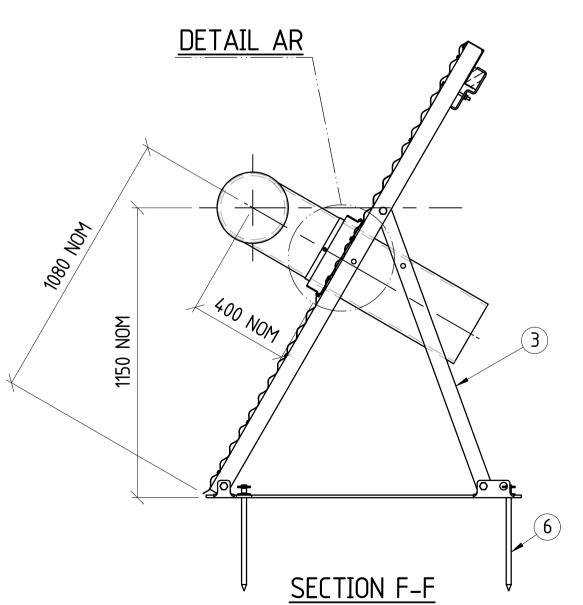


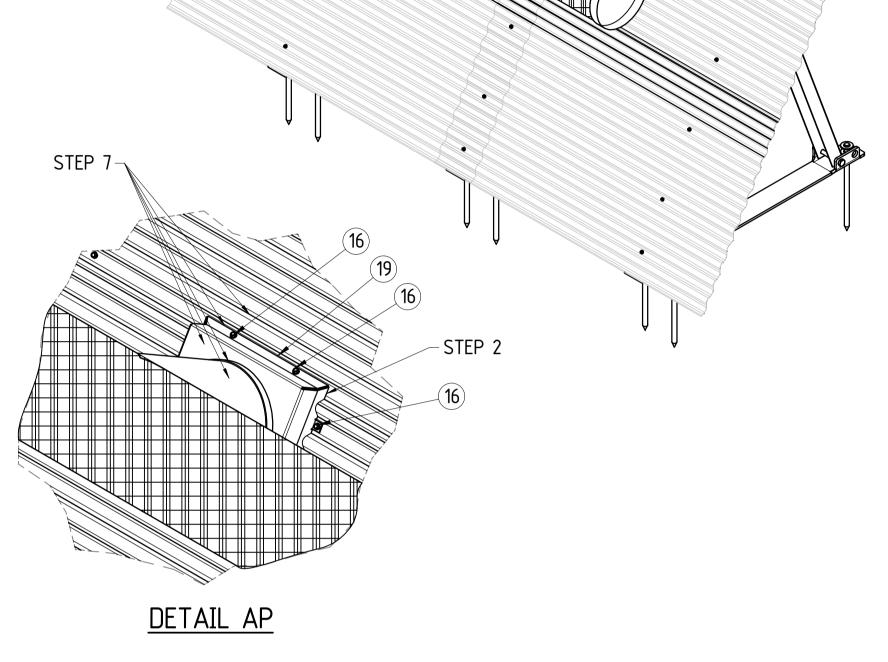
<u>DETAIL B</u>
'T' PIECE INSTALLATION DETAIL











DETAIL AP

# BACKGROUND:

THE 'T' PIECE IS USED TO PUMP HAZARDOUS FUMIGANT INTO THE STORAGE AFTER IT IS FULLY SEALED. CARE MUST BE TAKEN WHEN INSTALLING THE 'T' PIECE AND APPLYING THE SEALANTS TO ENSURE THE SEAL IS APPLIED TO A HIGH QUALITY.

# USE THE FOLLOWING QUANTITY'S PER 1 'T'PIECE

- 1 X 600ML SAUSAGE OF BOSTIK SEAL AND FLEX 1
- 1L OF NOVALAST LTM 151

# PROCEDURE:

- STEP 1: PREPARE AND CLEAN SURFACES WHERE SEALANTS ARE TO BE APPLIED AS PER
  MANUELACTUREDS CRECIFICATIONS
  - MANUFACTURERS SPECIFICATIONS.
- STEP 2: INITIAL COLLAR INSTALL; APPLY A THICK (5–10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' TO ALL EDGES OF THE T-PIECE MOUNTING COLLAR WHICH WILL CONTACT THE CORRUGATED CLADDING. TEK SCREW T-PIECE MOUNT (WITH BOSTIC SEALANT APPLIED) TO THE CLADDING USING 8 TEK SCREWS, EVENLY SPACED AROUND THE T-PIECE MOUNTING COLLAR.
- STEP 3: INSERT T-PIECE INTO THE T-PIECE MOUNTING COLLAR. SECURE THE T-PIECE AT THE LOCATION SHOWN, USING 2 X TEK SCREWS, THROUGH THE MOUNTING COLLAR RING. APPLY A THICK (5–10MM) BEAD OF 'BOSTIK SEAL N FLEX 1' AROUND THE JOIN AND AROUND ANY GAPS, INCLUDING AROUND THE TEK SCREWS. ALSO APPLY A THICK BEAD TO FILL THE GAP BETWEEN THE CLADDING AND THE T-PIECE, ON THE OUTSIDE OF THE BULKHEAD.
- STEP 4: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 5: APPLY A SECOND THICK (5–10MM) BEAD OF 'BOSTIC SEAL N FLEX 1' AROUND ALL JOINS BETWEEN THE T-PIECE MOUNTING COLLAR, THE T-PIECE AND THE CLADDING.
- STEP 6: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.
- STEP 7: PAINT THE ENTIRE T-PIECE MOUNTING COLLAR AND 150MM OF CLADDING AROUND THE COLLAR. ALSO PAINT 150MM OF THE T-PIECE, PAST THE COLLAR RING JOIN. PAINT WITH 'NOVALAST 151 | TM'
- STEP 8: LET SEALANT DRY AS PER MANUFACTURER'S DIRECTIONS.

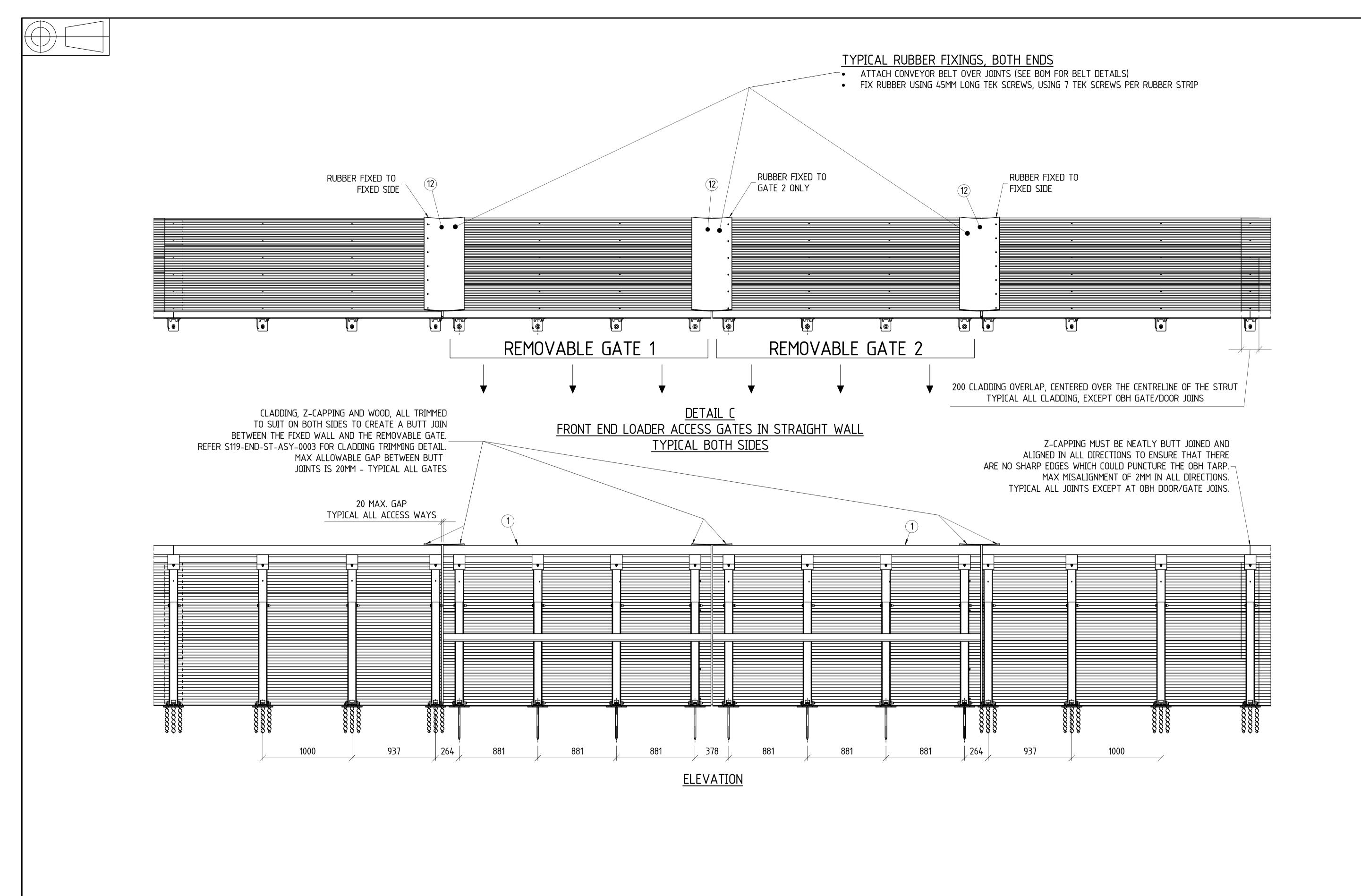
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LEVEL 6, 240 ST GEORGES TERRACE,															LS 10/06/202	
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)20	DRAWING TITLE  18m OPEN RIII K HEAD
)20	1.8m OPEN BULK HEAD GENERAL ARRANGEMENT 'T' PIECE DETAIL
20	'T' PIECE DETAIL

VARIOUS		A1
PROJECT STANDARD		
DDAL/TNC N	C	



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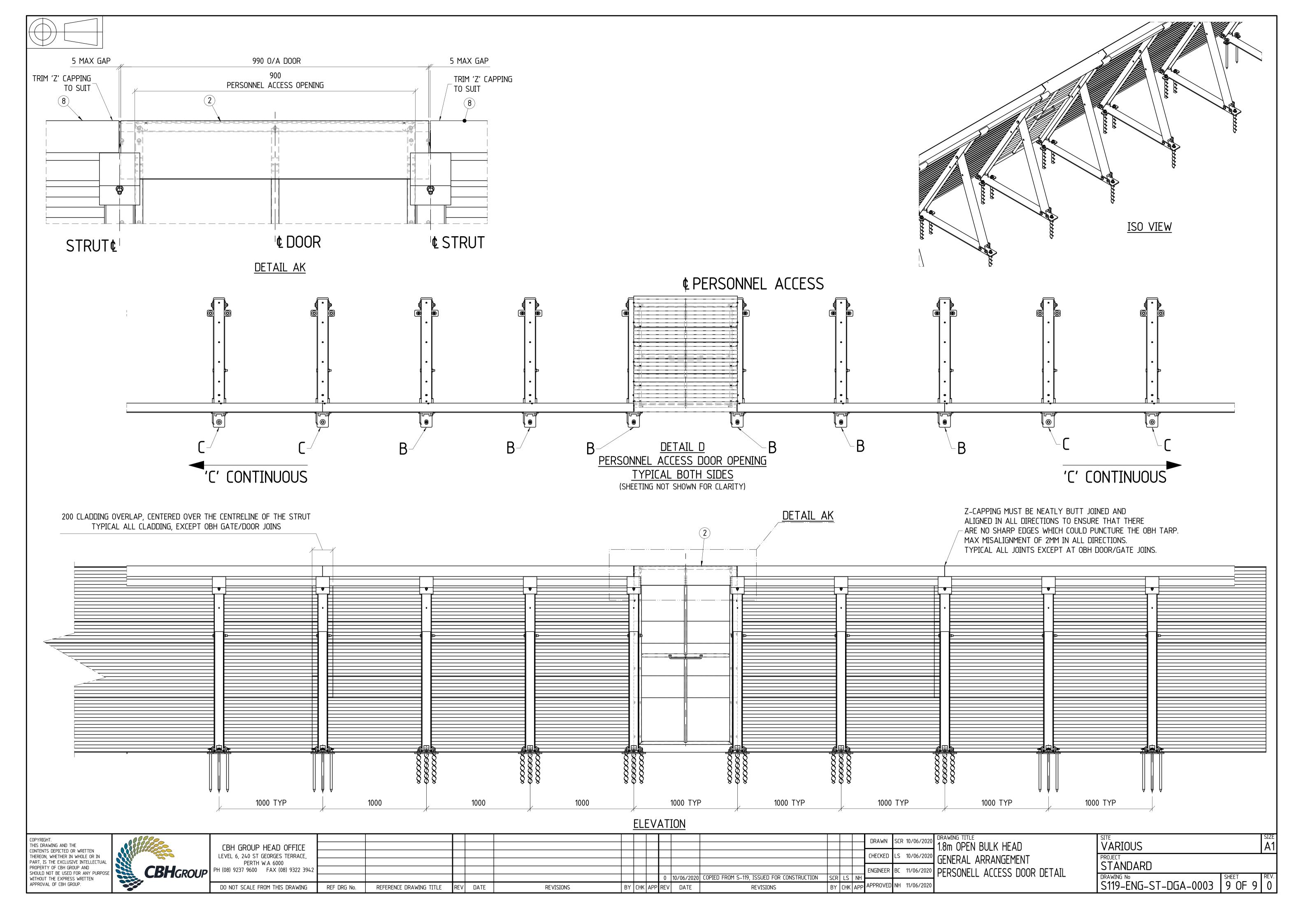
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	LEVEL 6, 240 ST GEORGES TERRACE,					
0	PERTH W.A 6000					
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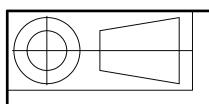
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DRAWING TITLE

1.8m OPEN BULK HEAD VARIOUS GENERAL ARRANGEMENT STANDARD STRAIGHT OBH OPENING DETAIL

S119-ENG-ST-DGA-0003 SHEET REV. 8 OF 9 0





# NOTES:

# GENERAL

- 1. DOCUMENTATION SET IS BASED ON A METTLER TOLEDO WEIGHBRIDGE DESIGN AND CBH ANCILLIARIES (WEIGHBRIDGE HUT, BOLLARDS ETC.).
- 2. THIS DOCUMENTATION IS TO BE READ IN CONJUCTION WITH THE SITE SPECIFIC DOCUMENTATION. IN PARTICULAR REFER TO SPECIFIC ELECTRICAL LAYOUT DRAWINGS FOR INCOMING/OUTGOING POWER, CONTROLS & COMMUNICATIONS CONDUITS QUANTITIES AND SIZE.
- 3. ALL WORKS TO BE PERFORMED IN CONJUCTION WITH THE DOCUMENTATION OUTLINED IN THE DRAWING AND DOCUMENTATION LIST ON THE RIGHT HAND SIDE.
- 4. WHERE THERE ARE DISCREPANCIES BETWEEN DOCUMENTS A TECHNICAL QUERY IS TO BE RAISED WITH CBH TO CONFIRM REQUIREMENT.
- 5. THIS IS A TYPICAL DESIGN ONLY, AND NEEDS TO BE TAILORED TO SUIT THE SITE SPECIFIC NEEDS.

## METTLER TOLEDO

- 1. ALL METTLER TOLEDO DRAWINGS / DOCUMENTATION AND REVISIONS TO BE CONFIRMED BY METTLER TOLEDO PRIOR TO USE.
- 2. DESIGN INCLUDES METTLER TOLEDO SUPPLIED RED GREEN TRAFFIC LIGHT, REMOTE DISPLAY AND PHOTOEYE. METTLER TOLEDO TO CONFIRM COMPLETE SYSTEM REQUIREMENT PRIOR TO ORDERING.
- 3. 24V POWER CONDUIT (Ø40mm) TO BE CAST IN CONCRETE FOR LOAD CELLS. FINAL LOCATION TO BE CONFIRMED WITH METTLER TOLEDO.

## CIVIL

- 1. CIVIL DESIGN TO BE DEVELOPED FOR WEIGHBRIDGE AREA ON A SITE SPECIFIC BASIS IN ACCORDANCE WITH THE \$132-ENG-ME-ASY-0013 METTLER TOLEDO WEIGHBRIDGE BOLLARD END BOLLARD FOOTING WEIGHBRIDGE 'BASIS OF DESIGN' AND TS10A 'DESIGN SPECIFICATION CIVIL EARTHWORKS, ROADS AND DRAINAGE' \$132-ENG-CI-DFN-0002 - LIGHT POLE FOOTING
- CIVIL CONTRACTOR TO INSTALL ALL CONDUITS AND SEALS.
- 3. ALL CONDUIT WORKS, INCLUDING MINIMUM DEPTH OF LAY TO BE IN ACCORDANCE WITH CBH TS 6 ELECTRICAL SERVICES (CBH-ENG-EL-SST-0001). CONTROL, COMMS AND POWER CONDUIT DESIGN TO BE APPROVED BY CBH ELECTRICAL AND METTLER TOLEDO PRIOR TO CONSTRUCTION.

# CONCRETE

1. IF COASTAL, CONCRETE FOR CBH FOOTINGS TO BE GRADE N40.

## ELECTRICAL

1. ALL CONDUIT (INCLUDING CONDUIT TO BE CAST IN) AND ELECTRICAL PITS (INCLUDING EARTH, COMMS AND POWER) TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR FOR THE CIVIL/CONCRETE CONTRACTOR TO INSTALL.

# MAXIMUM LOADING

METTLER TOLEDO DESIGN LOAD ALLOWANCES TO ACCOMODATE SITE SPECIFIC REQUIREMENTS USING EITHER STANDARD OR CONSESSIONAL REGULATORY MASS LIMITS FOR HEAVY VEHICLES (AS STIPULATED BY MAIN ROADS WA).

# DRAWING AND DOCUMENTATION LIST:

# METTLER TOLEDO DOCUMENTATION:

## GENERAL

932293-F - 7560 WEIGHBRIDGE FOUNDATION AND DECK - CIVIL SPECIFICATION

942834 - 3.2m ROUND POLE FOR REMOTE DISPLAY AND TRAFFIC LIGHT

942799 - TYPICAL RAG BOLT INSTALLATION - TRAFFIC LIGHT AND REMOTE DISPLAY FOOTING

## 39m

943474 - DUAL 19.5m X 3.5m 7560-4P(2x8 LOADCELLS) WEIGHBRIDGE - FOUNDATION LAYOUT DRAWING

943462 020 - DUAL 19.5m X 3.5m 7560-4P WEIGHBRIDGE - GA DRAWING

943462 BSG - DUAL 19.5m X 3.5m 7560-4P WEIGHBRIDGE - BEAMSET

943475 - DUAL 19.5m X 3.5m 7560-4P(2x8 LOADCELLS) WEIGHBRIDGE - DECK POURING DETAIL DRAWING

943239 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - FOUNDATION LAYOUT DRAWING

943222 020 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - GA DRAWING

943222 BSG - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - BEAMSET

943240 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - DECK POURING DETAIL DRAWING

## CBH DOCUMENTATION:

## TECHNICAL SPECIFICATIONS:

CBH-ENG-CI-SST-0001 - TS10A DESIGN SPECIFICATION - CIVIL EARTHWORKS, ROADS AND DRAINAGE

CBH-ENG-CI-SST-0002 - TS10B CONSTRUCTION SPECIFICATION - CIVIL EARTHWORKS, ROADS AND DRAINAGE

CBH-ENG-EL-SST-0001 - TS6 TECHNICAL SPECIFICATION - ELECTRICAL SERVICES

CBH-ENG-EL-SST-0002 - TS16 TECHNICAL SPECIFICATION - EQUIPMENT LIST - ELECTRICAL, INSTRUMENTATION AND CONTROL SYSTEMS.

CBH-ENG-GN-SST-0002 - TS4 TECHNICAL SPECIFICATION - PROJECT AND MAINTENANCE COATINGS

CBH-ENG-ST-SST-0001 - TS1 TECHNICAL SPECIFICATION - CONCRETE

CBH-ENG-ST-SST-0002 - TS2 TECHNICAL SPECIFICATION - STRUCTURAL STEELWORK

## DRAWINGS:

## NOTE CBH DRAWINGS OFTEN CONTAIN MULTIPLE PAGES.

S132-ENG-MD-DGA-0001 - METTLER TOLEDO WEIGHBRIDGE TYPE 1 - 56m & 39m X 3.5m C/W HUT - GENERAL ARRANGEMENT

S132-ENG-MD-ASY-0001 - METTLER TOLEDO WEIGHBRIDGE TYPE 1 - 56m & 39m X 3.5m C/W HUT - CONCRETE LAYOUT

S132-ENG-MD-ASY-0002 - METTLER TOLEDO WEIGHBRIDGE TYPE 1 - WEIGHBRIDGE WITH HUT - HUT FOOTINGS

S132-ENG-MD-ASY-0003 - METTLER TOLEDO WEIGHBRIDGE TYPE 1 - 56m & 39m X 3.5m C/W HUT - BOLT LIST(HUT & LIGHT POLES)

S000-ENG-CI-STD-0012 - CIVIL TYPICAL DRG - STANDARD BOLLARD

S000-ENG-CI-STD-0013 - CIVÍL TYPÍCAL DRG - SIGNS & ROAD MARKÍNGS - MARKING PLAN & DETAIL

S000-ENG-CI-STD-0017 - TYPE 1 WEIGHBRIDGE - SERVICE TRENCH OPTION - TYPICAL FORMATION PLAN AND SECTIONS

S000-ENG-CI-STD-0018 - TYPE 1 WEIGHBRIDGE - TRENCHLESS OPTION - TYPICAL FORMATION PLAN AND SECTIONS

S000-ENG-ST-STD-0020 - CONCRETE DESIGN - WEIGHBRIDGE WALKWAY - PLAN AND DETAILS

S132-ENG-ST-DID-0001 - WIND BREAK FENCE DESIGN & INSTALLATION DETAILS

S132-ENG-EL-DCS-0001 - TYPE 1 POWER, CONTROLS & COMMS CABLE SCHEDULE

S132-ENG-EL-DCS-0002 - TYPE 1 CONDUIT SCHEDULE

S000-ENG-EL-DTD-0030 - COMMUNICATIONS POLE

S000-ENG-EL-DTD-0004 - ELECTRICAL LABLES & MARKERS

S132-ENG-EL-DGA-0001 - TYPE 1 ELECTRICAL UNDERGROUND SERVICES - G.A.

S132-ENG-EL-DGA-0006 - TYPE 1 COMMS CABINET - GENERAL ARRANGEMENT

S132-ENG-EL-DGA-0007 - TYPE 1 INSTRUMENTATION CONTROL PANEL G.A.

S132-ENG-EL-SCH-0001 - TYPE 1 ELECTRICAL SCHEMATIC DIAGRAM

S132-ENG-EL-SLD-0001 - TYPE 1 ELECTRICAL SINGLE LINE DIAGRAM

S132-ENG-IC-SFD-0001 - TYPE 1 CONTROLS SYSTEM BLOCK DIAGRAM

S132-ENG-EL-TER-0001 - TYPE 1 ELECTRICAL TERMINATION DIAGRAM

S-020-A0020 - WEIGHBRIDGE - AUSTRALIAN STEEL - HUT SUB-STRUCTURE ASSEMBLY

S-020-A0050 - WEIGHBRIDGE - AUSTRALIAN STEEL - HUT LAYOUT

S-020-A0071 - WEIGHBRIDGE - AUSTRALIAN STEEL - DIGITAL DISPLAY / LIGHT POLE

S-020-A0106 - WEIGHBRIDGE - AUSTRALIAN STEEL - BARRIER CHAIN

# GUIDE: (REFERENCE ONLY)

CBH-ENG-GN-SPC-0006 - WEIGHBRIDGE DESIGN & INSTALLATION GUIDE

CBH-ENG-GN-BOD-0002 - WEIGHBRIDGE BASIS OF DESIGN

HOLD NOTE (-):

1. DIMENSIONS TO BE CONFIRMED FOR SITE SPECIFIC DESIGN

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REVISIONS

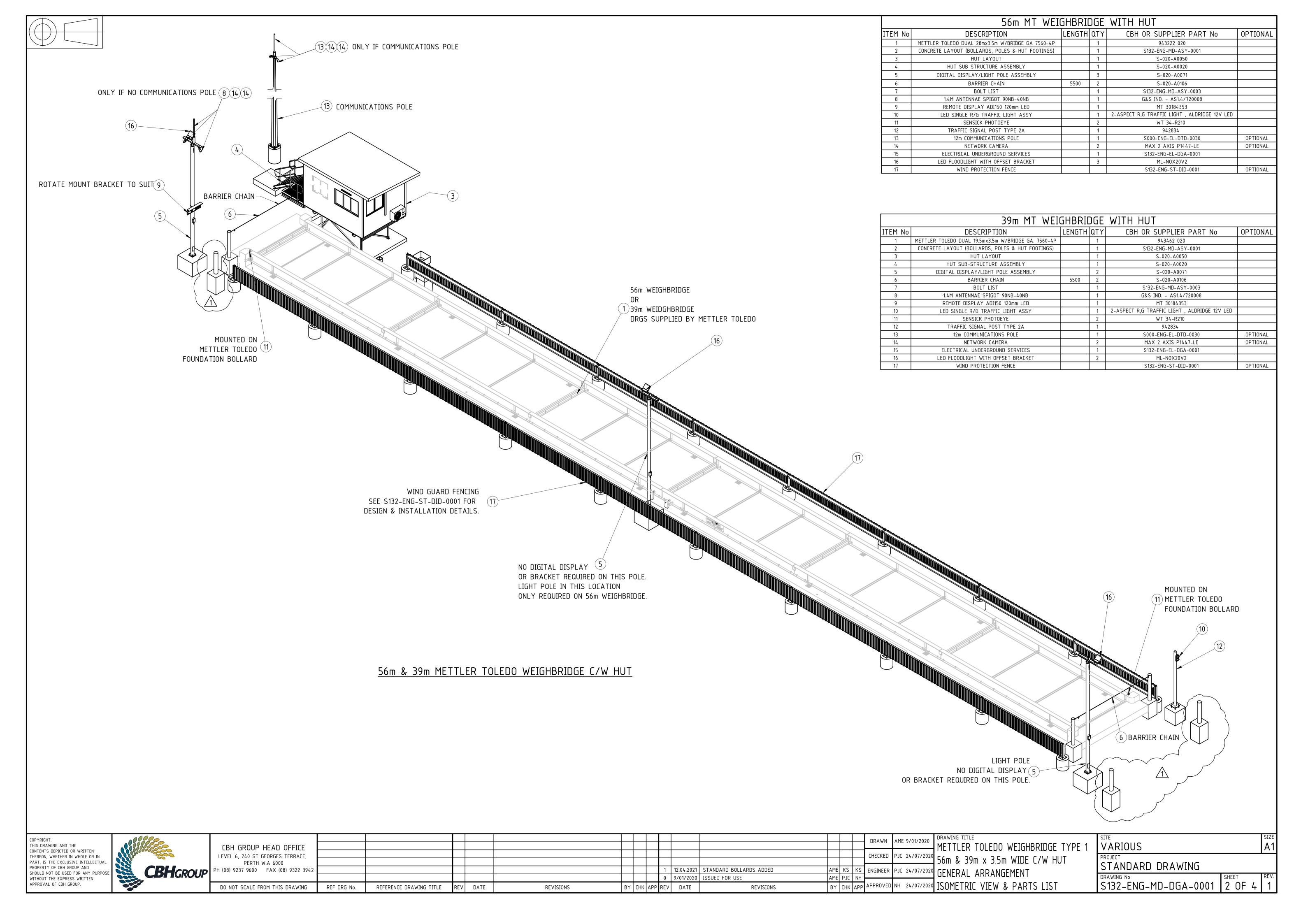
1 12.04.2021 STANDARD BOLLARDS ADDED 0 9/01/2020 ISSUED FOR USE BY CHK APP REV DATE

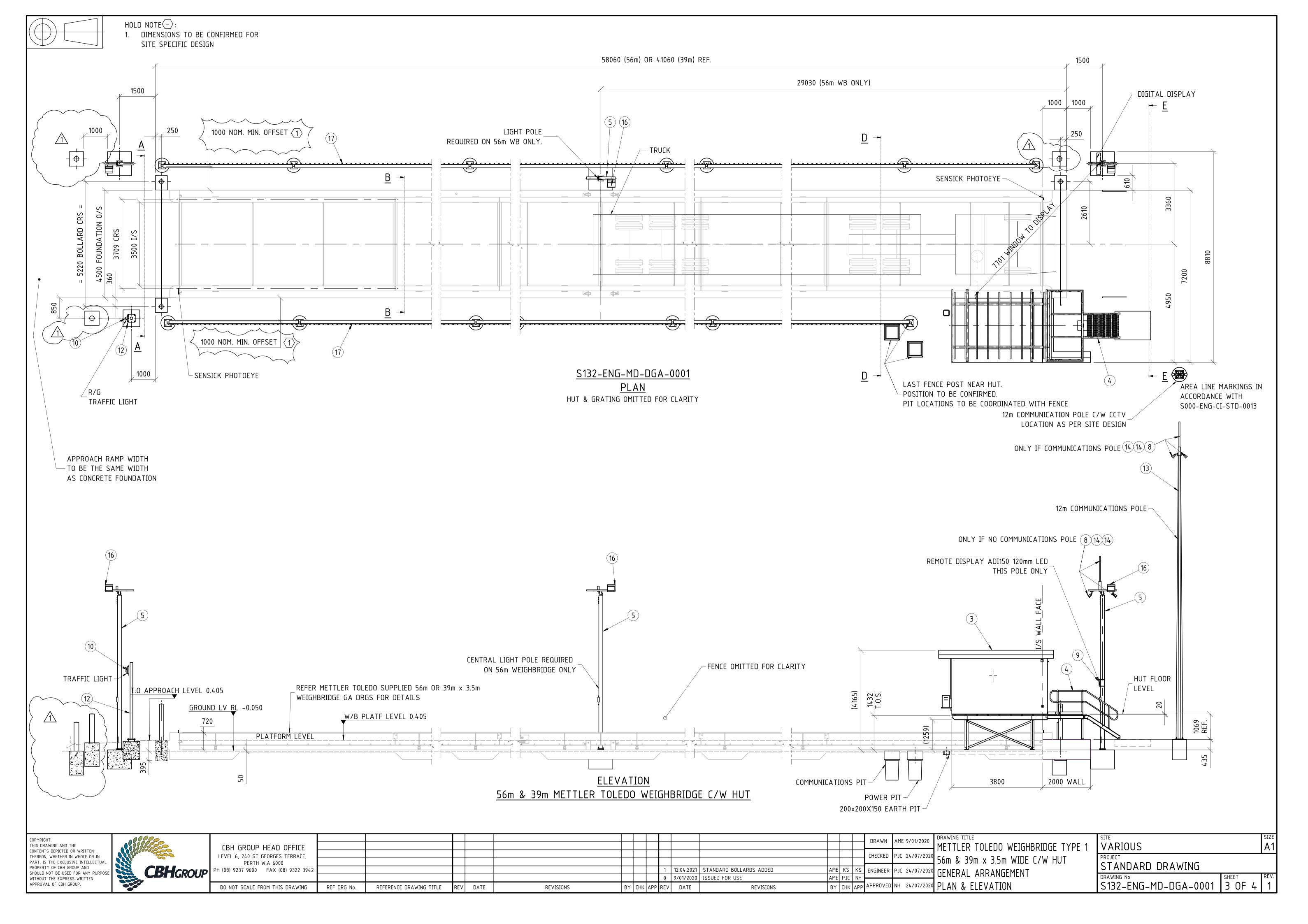
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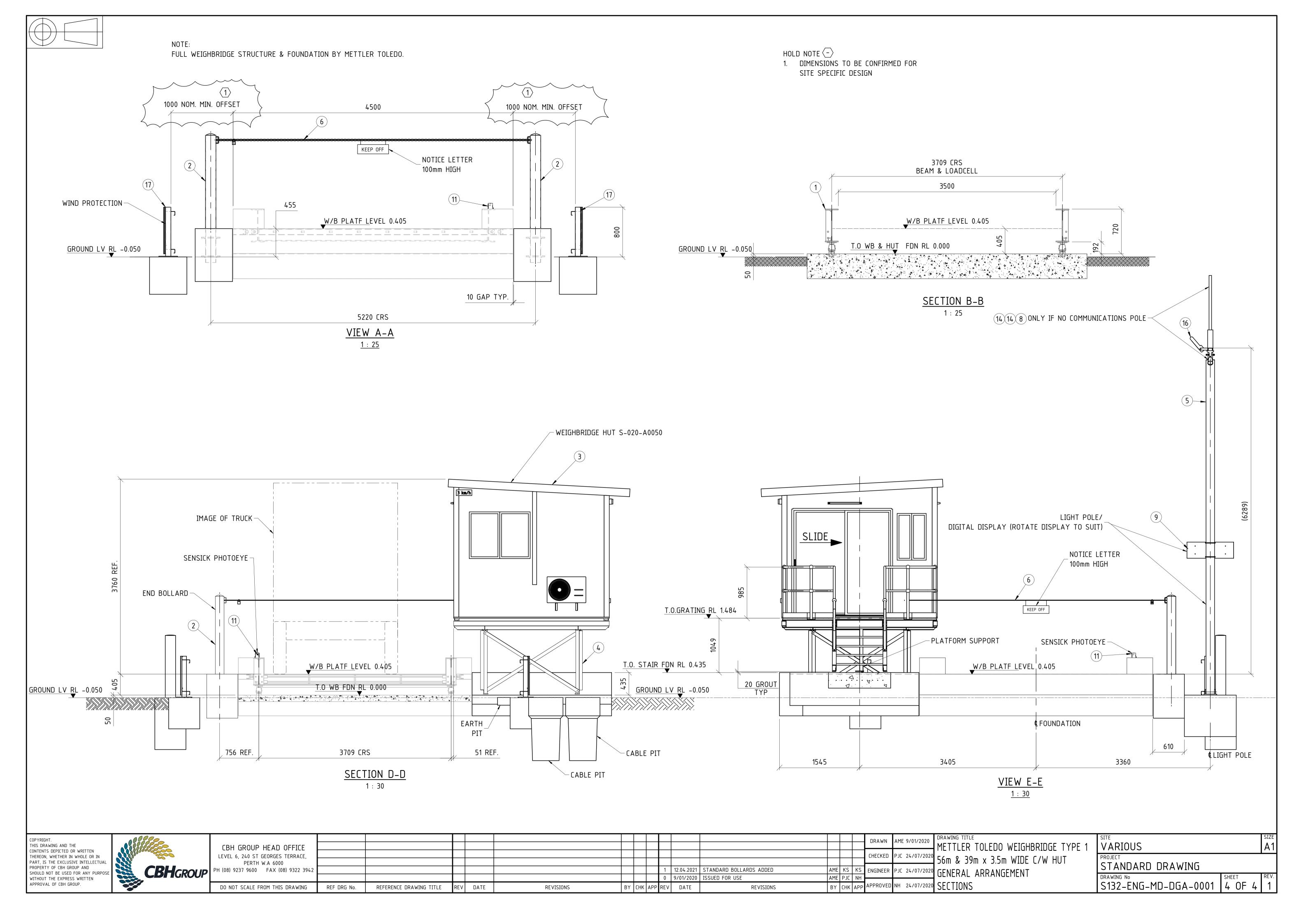
METTLER TOLEDO WEIGHBRIDGE TYPE

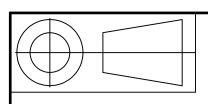
56m & 39m x 3.5m WIDE C/W HUT ENGINEER PJC 24/07/2020 GENERAL ARRANGEMENT

VARIOUS STANDARD DRAWING









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## CONCRETE

1. IF COASTAL, CONCRETE FOR CBH FOOTINGS TO BE GRADE N40.

# ELECTRICAL

1. ALL CONDUIT (INCLUDING CONDUIT TO BE CAST IN) AND ELECTRICAL PITS (INCLUDING EARTH, COMMS AND POWER) TO BE SUPPLIED BY THE ELECTRICAL CONTRACTOR FOR THE CIVIL/CONCRETE CONTRACTOR TO INSTALL.

# MAXIMUM LOADING

METTLER TOLEDO DESIGN LOAD ALLOWANCES TO ACCOMODATE SITE SPECIFIC REQUIREMENTS USING EITHER STANDARD OR CONSESSIONAL REGULATORY MASS LIMITS FOR HEAVY VEHICLES (AS STIPULATED BY MAIN ROADS WA).

# DRAWING AND DOCUMENTATION LIST:

# METTLER TOLEDO DOCUMENTATION:

# GENERAL

932293-F - 7560 WEIGHBRIDGE FOUNDATION AND DECK - CIVIL SPECIFICATION

942834 - 3.2m ROUND POLE FOR TRAFFIC LIGHT

942799 - TYPICAL RAG BOLT INSTALLATION - TRAFFIC LIGHT AND REMOTE DISPLAY FOOTING

943474 - DUAL 19.5m X 3.5m 7560-4P(2x8 LOADCELLS) WEIGHBRIDGE - FOUNDATION LAYOUT DRAWING

943462 020 - DUAL 19.5m X 3.5m 7560-4P WEIGHBRIDGE - GA DRAWING

943462 BSG - DUAL 19.5m X 3.5m 7560-4P WEIGHBRIDGE - BEAMSET

943475 - DUAL 19.5m X 3.5m 7560-4P(2x8 LOADCELLS) WEIGHBRIDGE - DECK POURING DETAIL DRAWING

943239 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - FOUNDATION LAYOUT DRAWING

943222 020 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - GA DRAWING

943222 BSG - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - BEAMSET

943240 - DUAL 28m X 3.5m 7560-4P WEIGHBRIDGE - DECK POURING DETAIL DRAWING

## CBH DOCUMENTATION:

## TECHNICAL SPECIFICATIONS:

CBH-ENG-CI-SST-0001 - TS10A DESIGN SPECIFICATION - CIVIL EARTHWORKS, ROADS AND DRAINAGE

CBH-ENG-CI-SST-0002 - TS10B CONSTRUCTION SPECIFICATION - CIVIL EARTHWORKS, ROADS AND DRAINAGE

CBH-ENG-EL-SST-0001 - TS6 TECHNICAL SPECIFICATION - ELECTRICAL SERVICES

CBH-ENG-EL-SST-0002 - TS16 TECHNICAL SPECIFICATION - EQUIPMENT LIST - ELECTRICAL, INSTRUMENTATION AND CONTROL SYSTEMS.

CBH-ENG-GN-SST-0002 - TS4 TECHNICAL SPECIFICATION - PROJECT AND MAINTENANCE COATINGS

CBH-ENG-ST-SST-0001 - TS1 TECHNICAL SPECIFICATION - CONCRETE

CBH-ENG-ST-SST-0002 - TS2 TECHNICAL SPECIFICATION - STRUCTURAL STEELWORK

CBH-ENG-IC-SST-0005 - TS12D TECHNICAL SPECIFICATION - CONTROL SYSTEM NETWORK REQUIREMENTS.

## DRAWINGS:

NOTE CBH DRAWINGS OFTEN CONTAIN MULTIPLE PAGES.

S132-ENG-MD-DGA-0002 - METTLER TOLEDO WEIGHBRIDGE - 56m & 39m X 3.5m UNMANNED REMOTE - GENERAL ARRANGEMENT

S132-ENG-MD-ASY-0005 - METTLER TOLEDO WEIGHBRIDGE - 56m & 39m X 3.5m UNMANNED REMOTE - CONCRETE LAYOUT

S132-ENG-MD-ASY-0006 - METTLER TOLEDO WEIGHBRIDGE - 56m & 39m X 3.5m UNMANNED REMOTE - BOLT LIST

S132-ENG-ME-ASY-0013 - METTLER TOLEDO WEIGHBRIDGE - BOLLARD - END BOLLARD FOOTING

S132-ENG-EL-DGA-0004 - TYPE 2 FREE STANDING CONTROL PANEL G.A.

S132-ENG-EL-DGA-0005 - TYPE 2 FREE STANDING CONTROL PANEL FRAME DETAILS

S132-ENG-EL-DGA-0002 - TYPE 2 UNMANNED REMOTE ELECTRICAL UNDERGROUND SERVICES-G.A.

S132-ENG-EL-SLD-0002 - TYPE 2 ELECTRICAL SINGLE LINE DIAGRAM

S132-ENG-EL-SCH-0002 - TYPE 2 ELECTRICAL CONTROL PANEL-SCHEMATIC DIAGRAM

S000-ENG-EL-DTD-0030 - COMMUNICATIONS POLE

S000-ENG-EL-DTD-0004 - ELECTRICAL LABLES & MARKERS

S132-ENG-EL-DCS-0003 - TYPE 2 POWER, CONTROL & COMMS CABLE SCHEDULE

S132-ENG-EL-DCS-0004 - TYPE 2 CONDUIT SCHEDULE

S132-ENG-EL-TER-0002 - TYPE 2 ELECTRICAL TERMINATION DIAGRAM

S132-ENG-IC-SFD-0002 - TYPE 2 CONTROLS SYSTEM BLOCK DIAGRAM

S132-ENG-ST-DID-0001 - WIND BREAK FENCE DESIGN & INSTALLATION DETAILS

S000-ENG-ST-STD-0001 - CONCRETE/SLAB ON GROUND TYPICAL DETAILS

S132-ENG-CI-DFN-0001 - EXTERNAL CABINET/CONTROL PANEL FOOTING

S132-ENG-CI-DFN-0002 - LIGHT POLE FOOTING

S000-ENG-CI-ŠTD-0012 - CIVIL TYPICAL DRG - STANDARD BOLLARD)

S000-ENG-CI-STD-0013 - CIVIL TYPICAL DRG - SIGNS & ROAD MARKINGS - MARKING PLAN & DETAIL

HOLD NOTE $\langle - \rangle$ : 1. DIMENSIONS TO BE CONFIRMED FOR SITE SPECIFIC DESIGN

S-020-A0071 - WEIGHBRIDGE - AUSTRALIAN STEEL - DIGITAL DISPLAY / LIGHT POLE

S-020-A0106 - WEIGHBRIDGE - AUSTRALIAN STEEL - BARRIER CHAIN

# GUIDE: (REFERENCE ONLY)

CBH-ENG-GN-SPC-0006 - WEIGHBRIDGE DESIGN & INSTALLATION GUIDE

CBH-ENG-GN-BOD-0002 - WEIGHBRIDGE BASIS OF DESIGN.

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			1	13.04.2021	BOLLARDS ADDED	AME	KS	KS	ENGINEER	PJC	24/07/202
			0	21/01/2020	ISSUED FOR USE	AME	PJC	NH			
BY	CHK	APP	REV	DATE	REVISIONS	BY	CHK	APP	APPROVED	NH	24/07/202

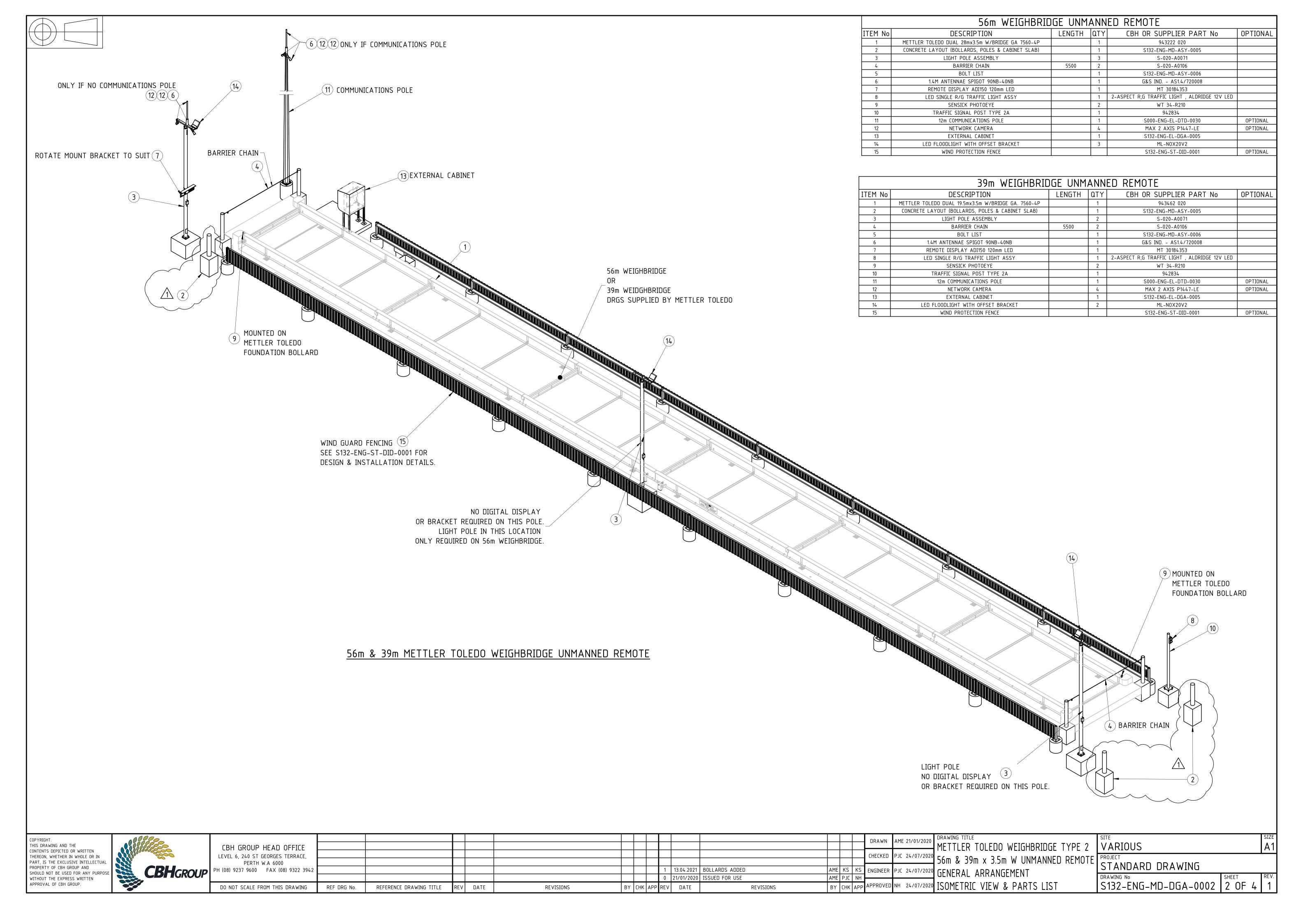
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56m & 39m x 3.5m W UNMANNED REMOTE
GENERAL ARRANGEMENT

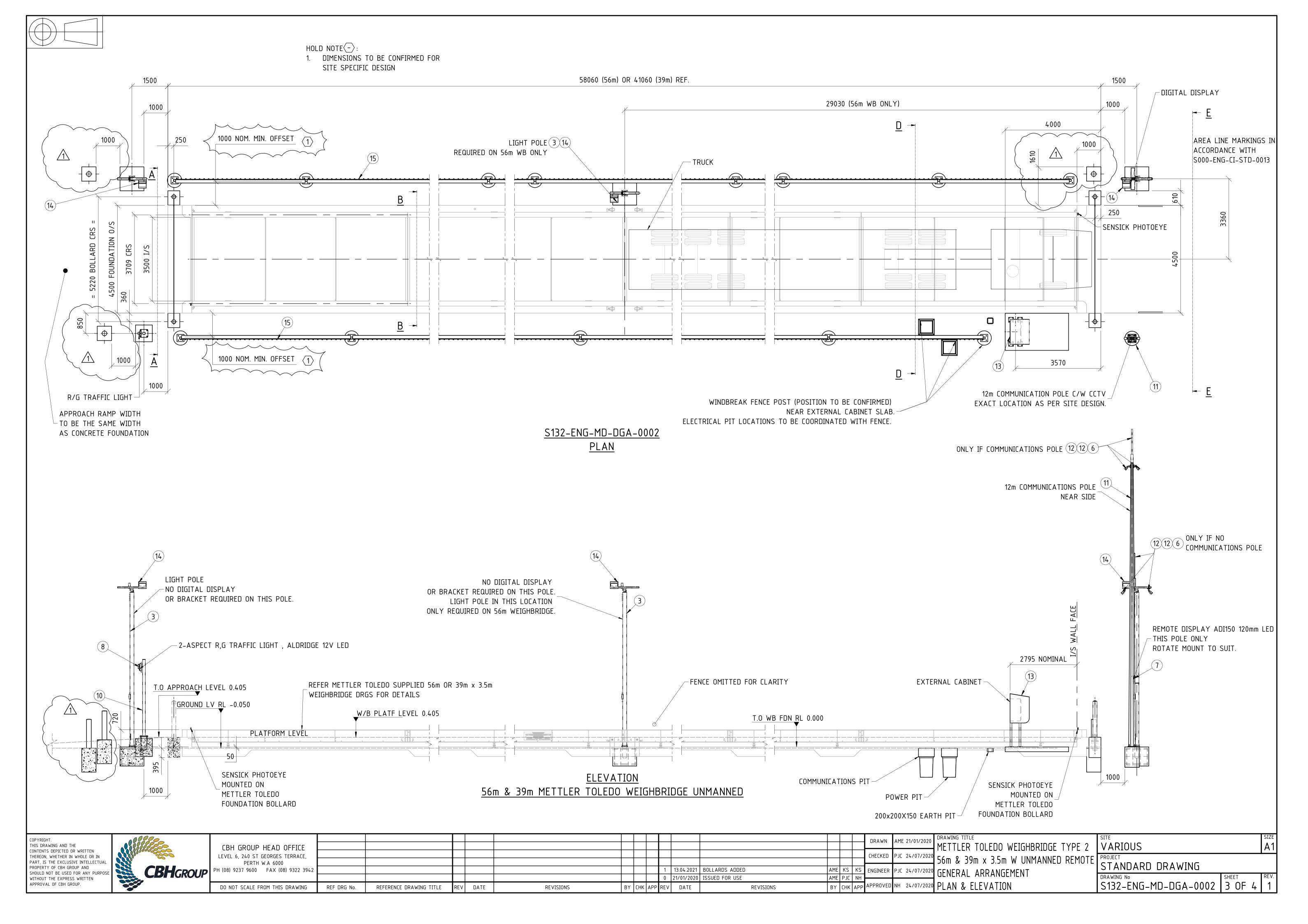
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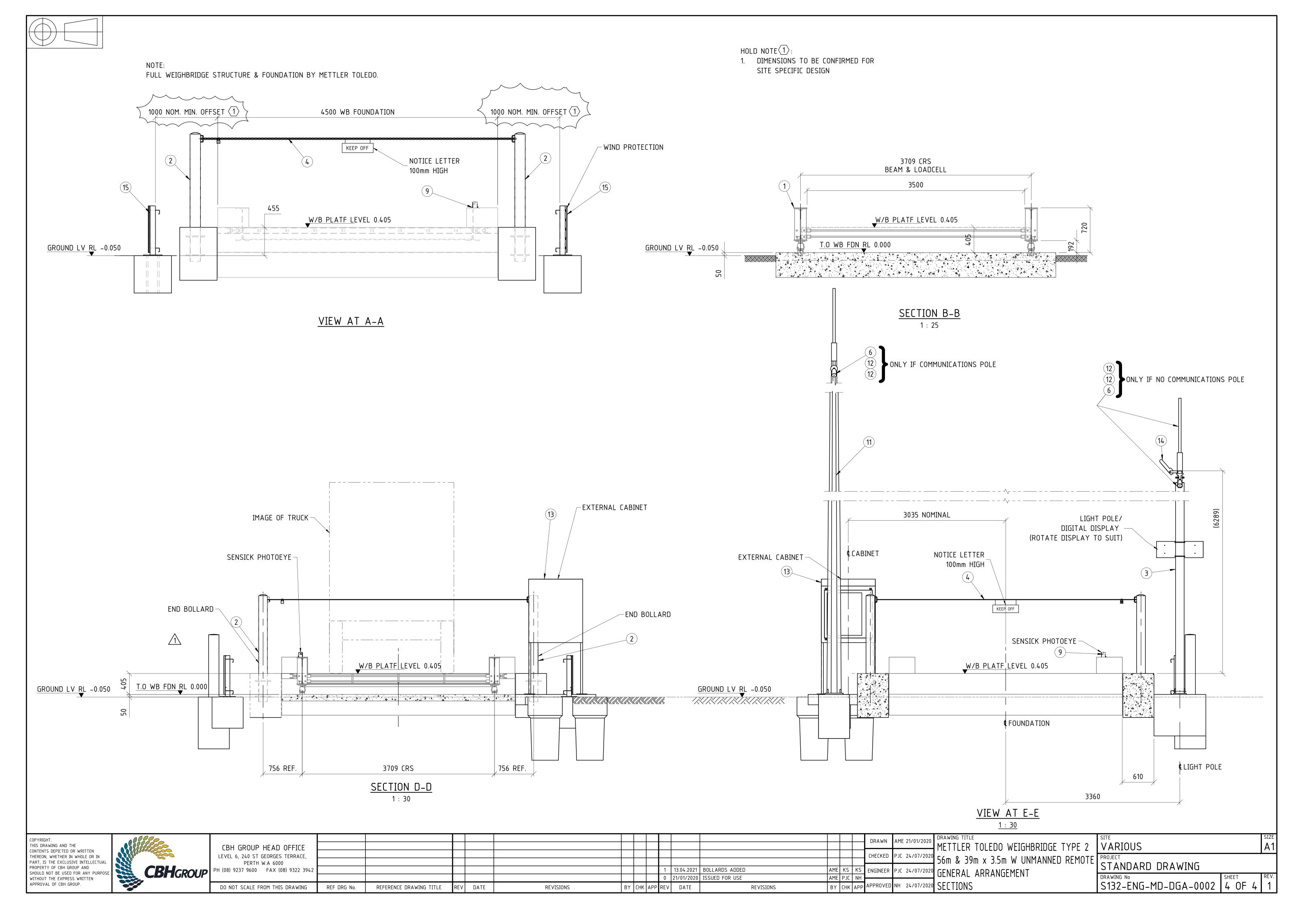
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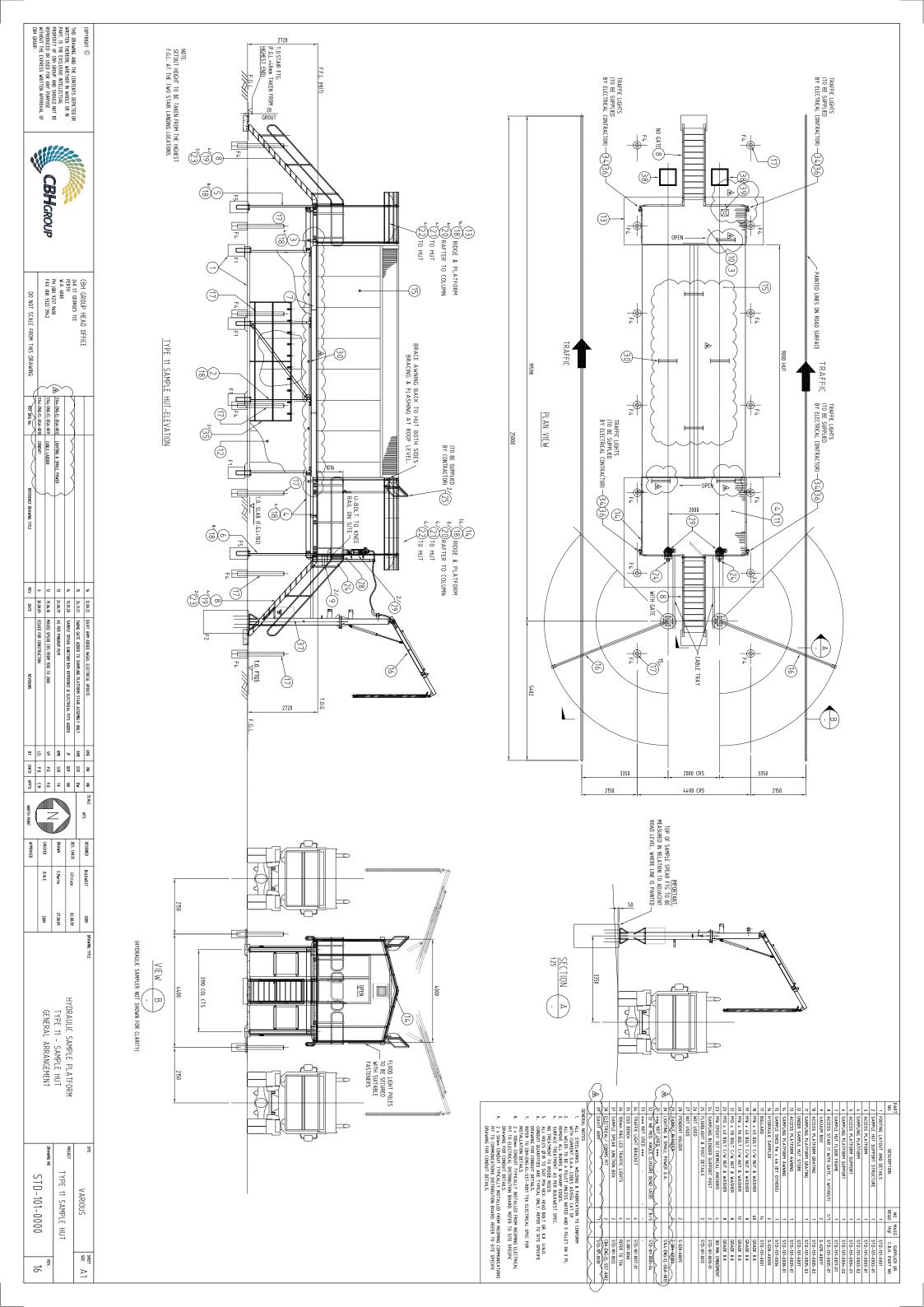
		SHEET
	STANDARD DRAWING	
-	PROJECT	

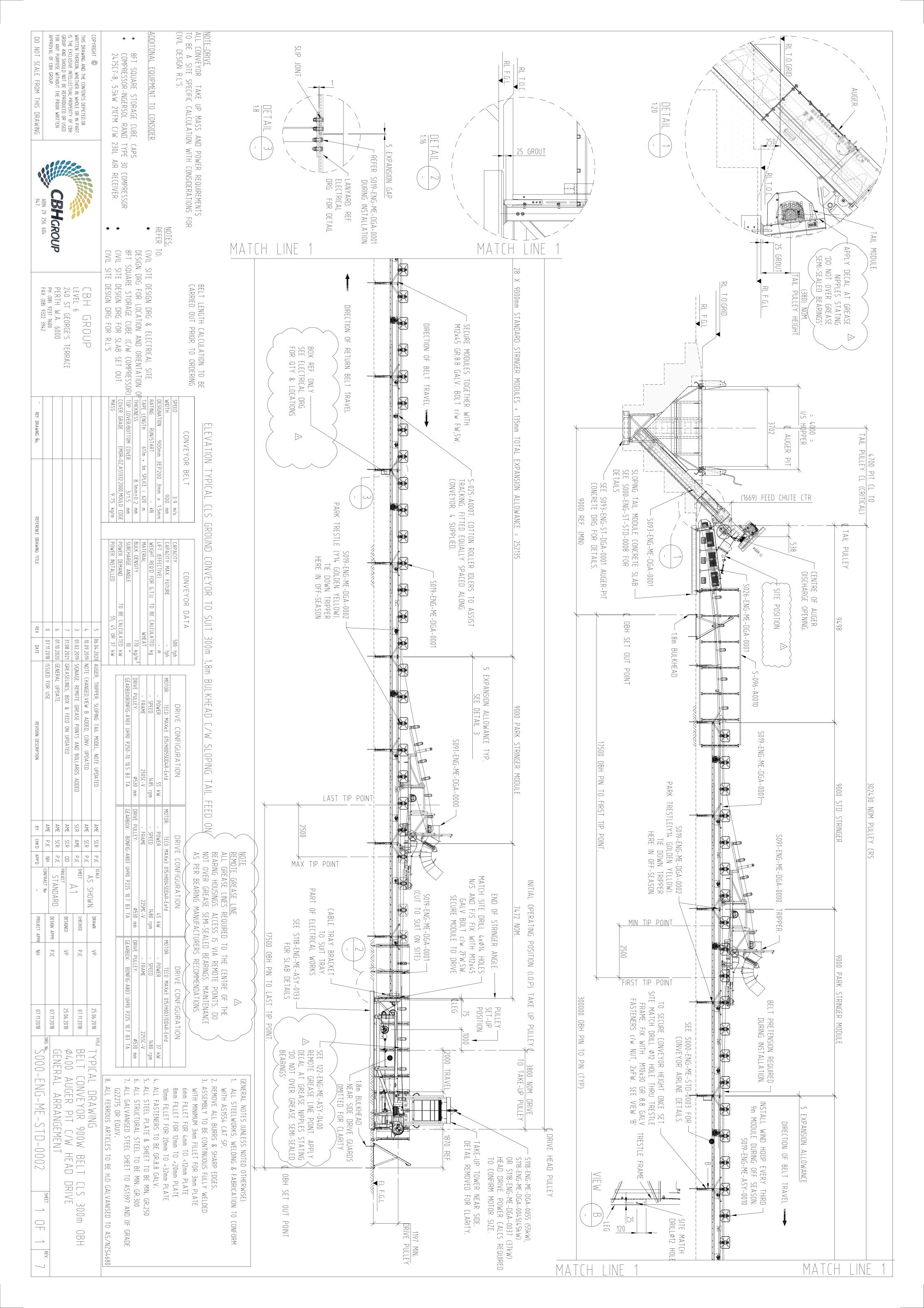
|S132-ENG-MD-DGA-0002 | 1

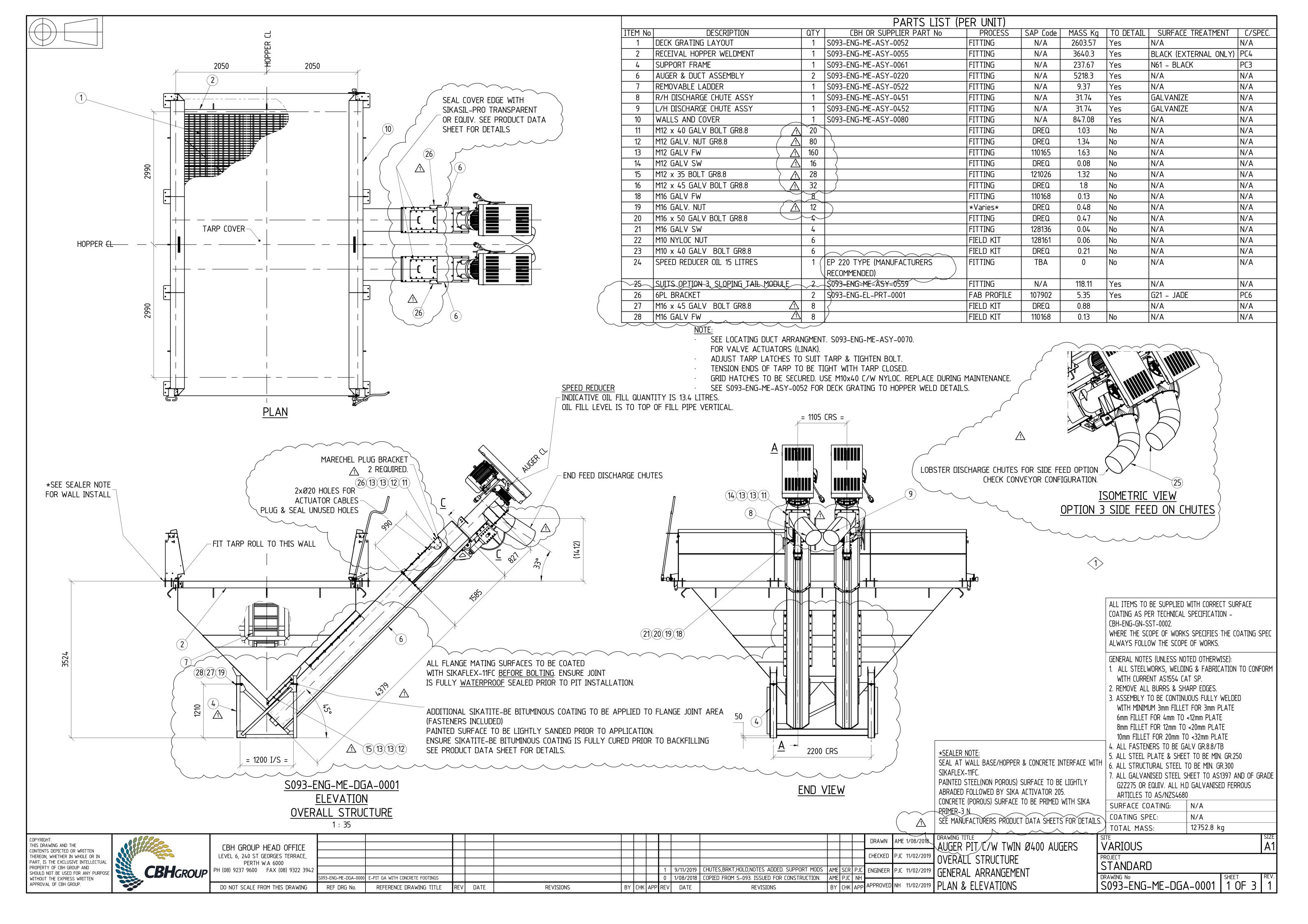


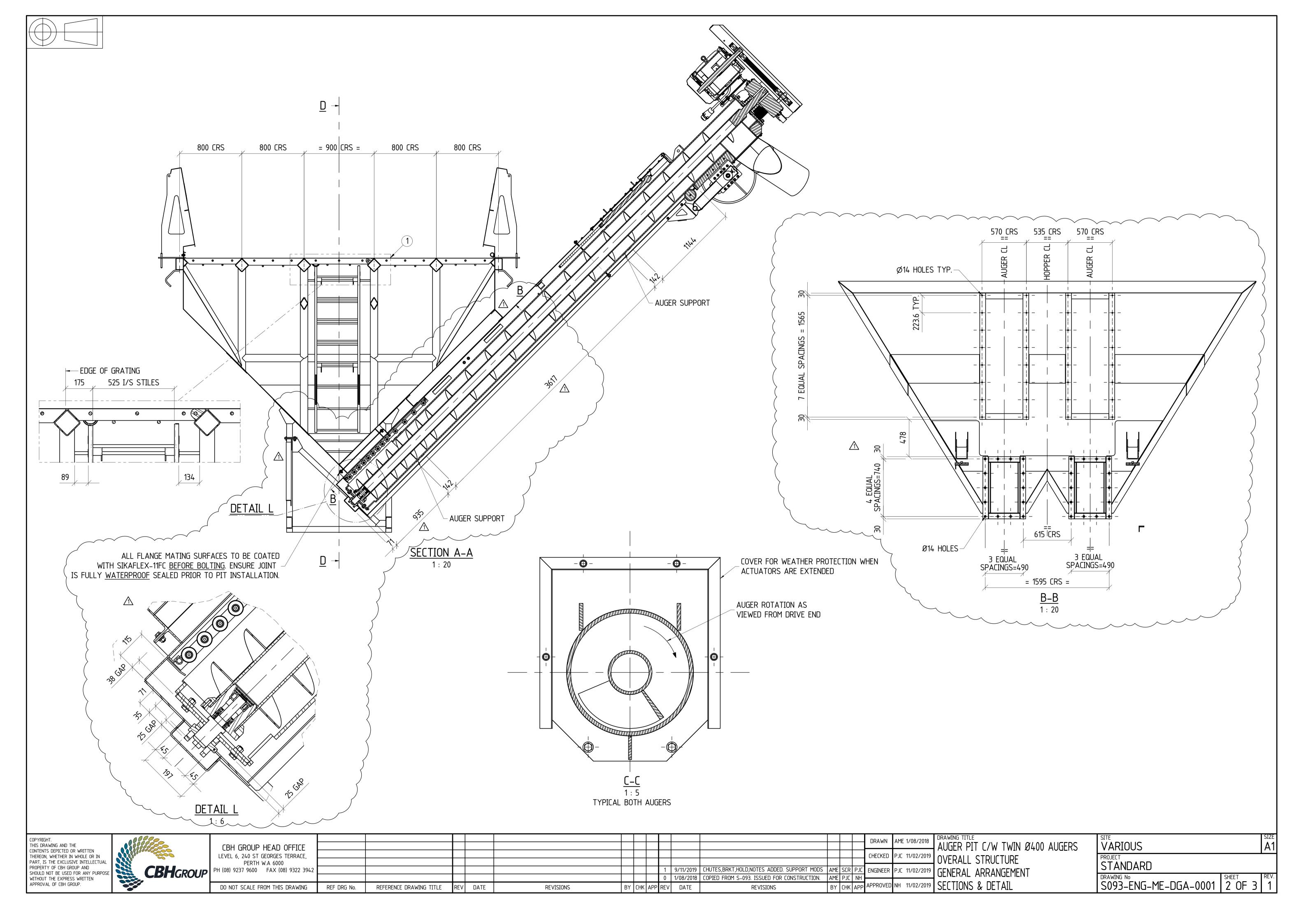


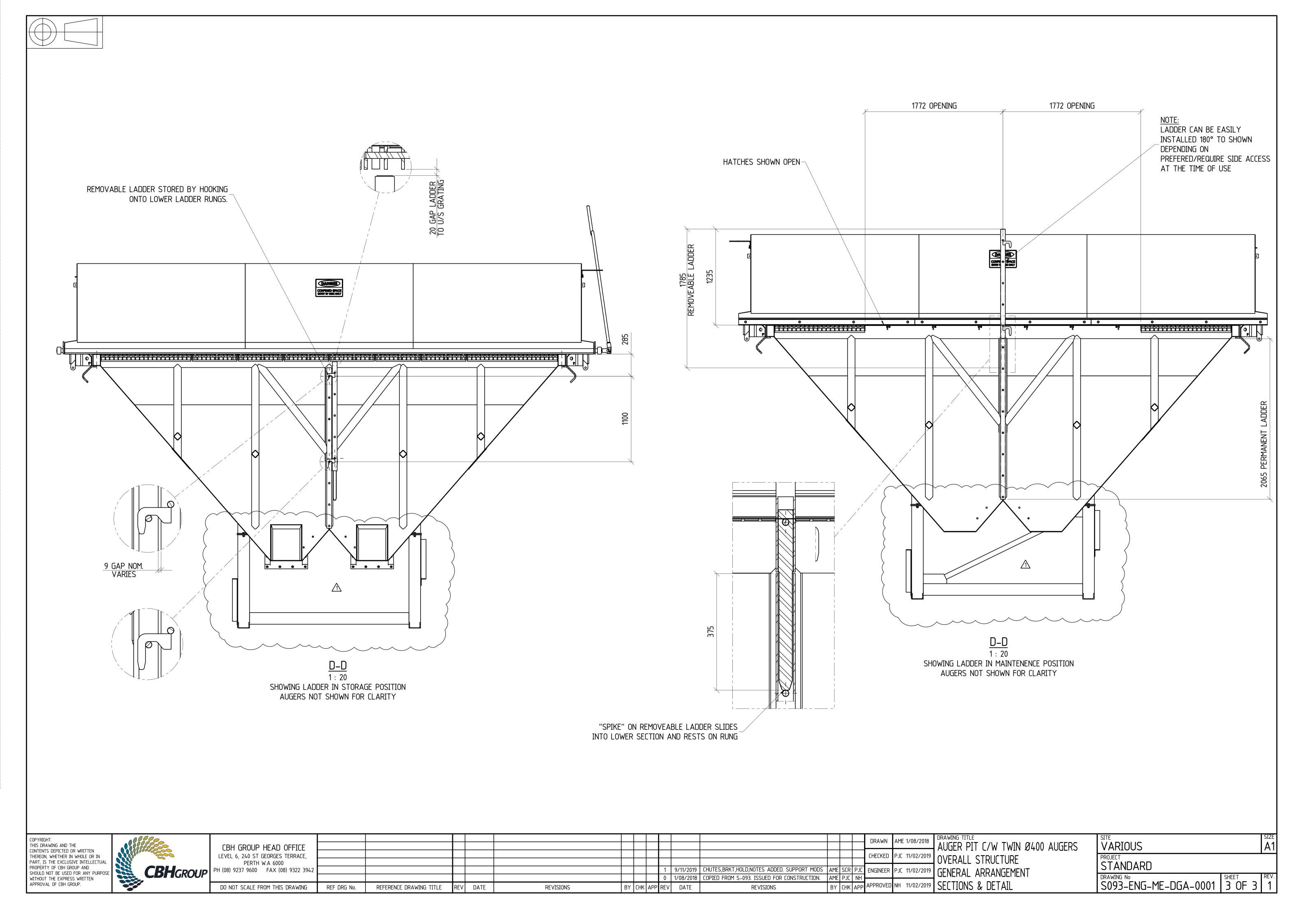


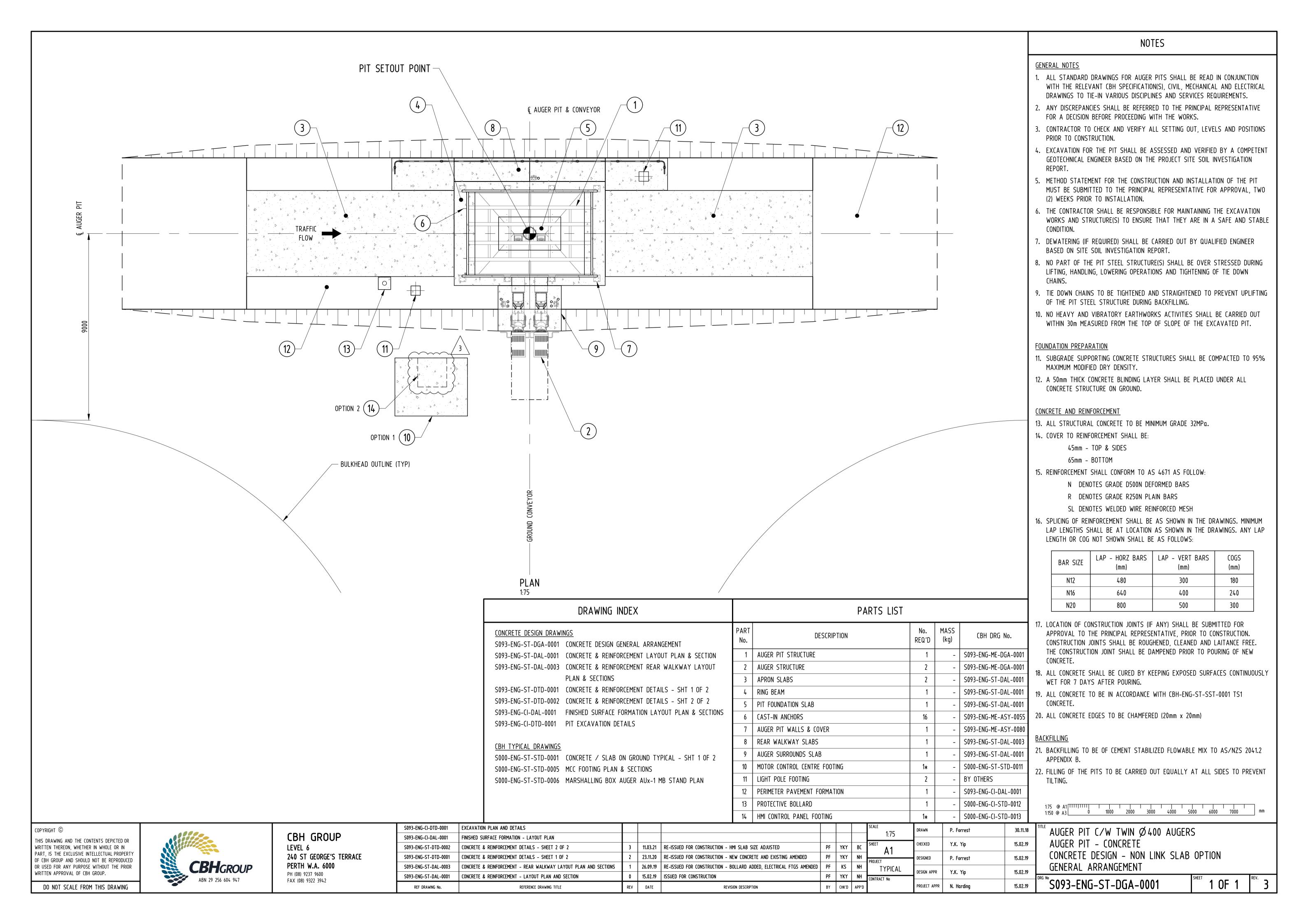


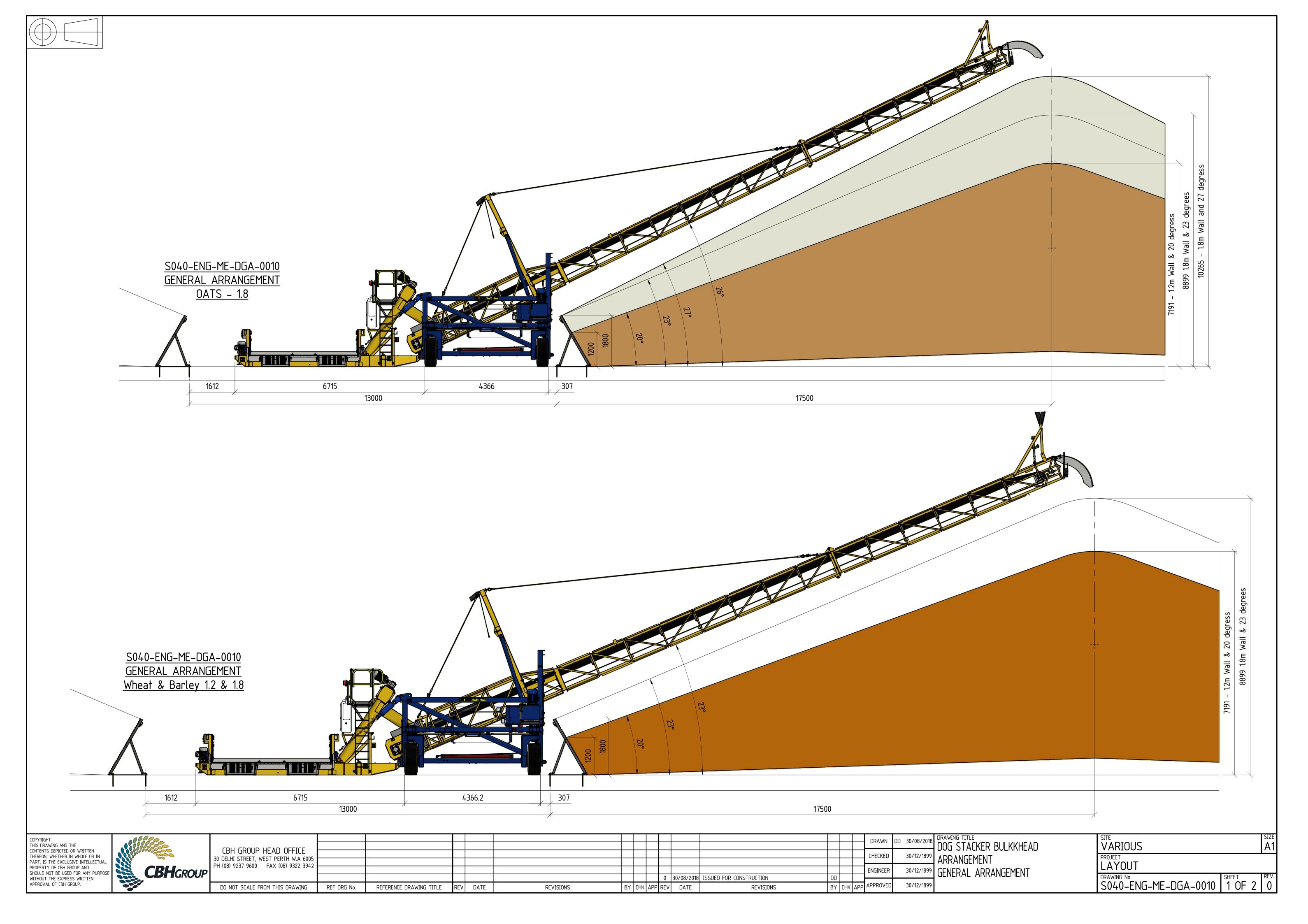


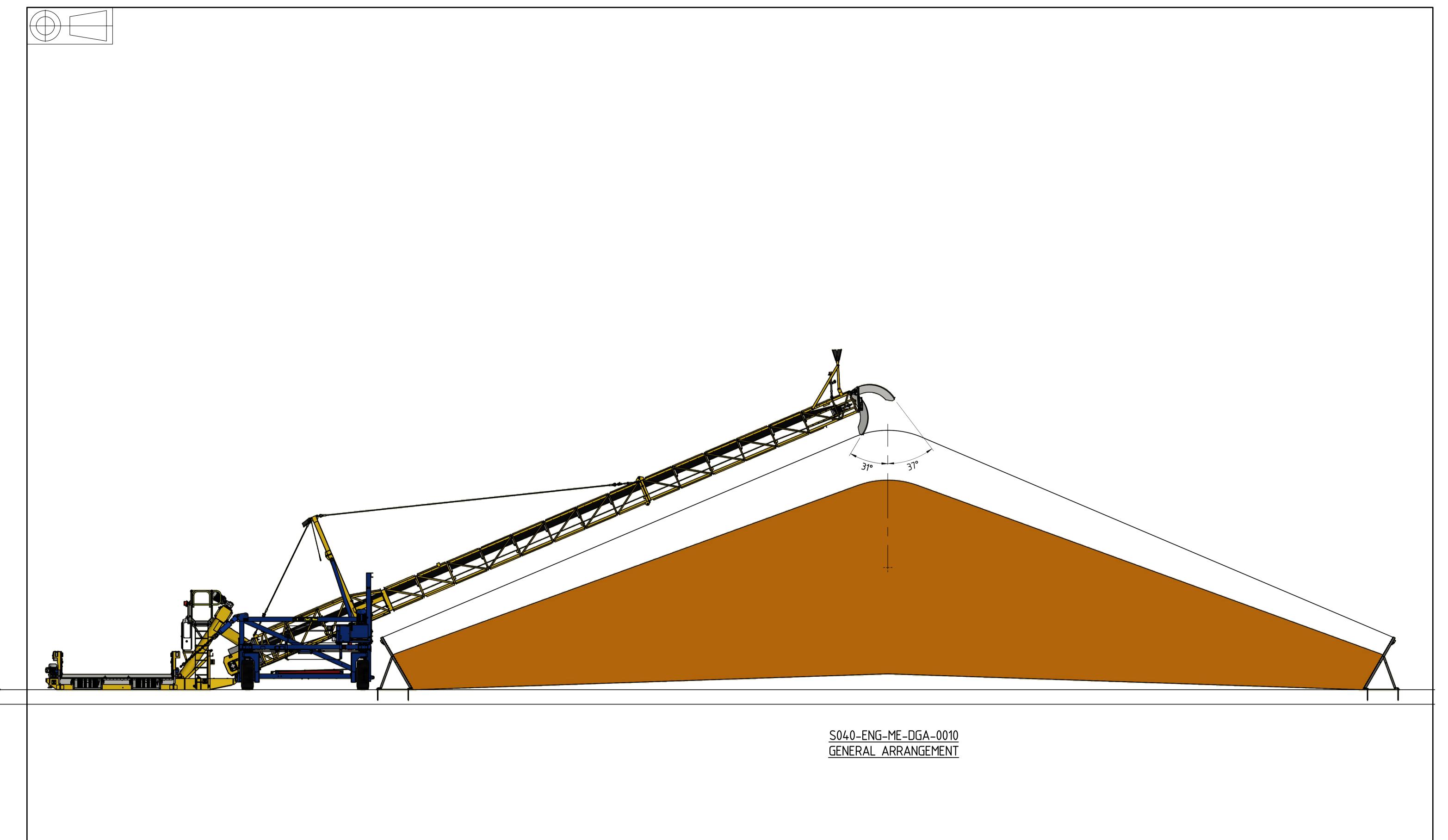












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REFERENCE DRAWING TITLE REV DATE

0 30/08/2018 ISSUED FOR CONSTRUCTION BY CHK APP REV DATE REVISIONS

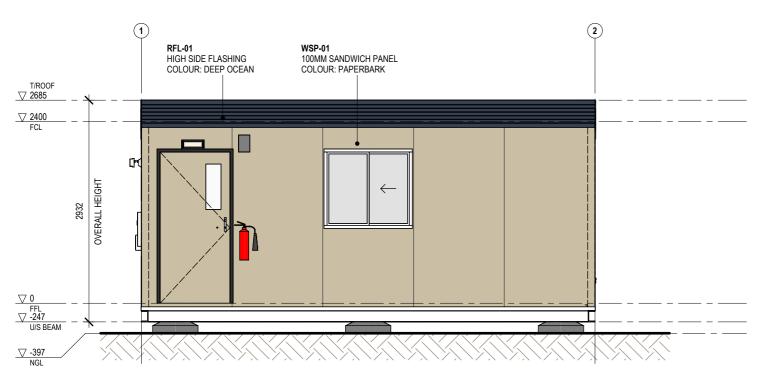
CHECKED ENGINEER BY CHK APP APPROVED 30/12/1899

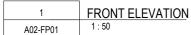
REVISIONS

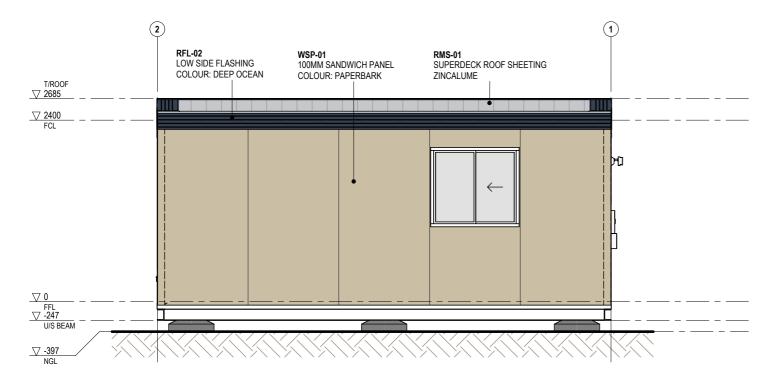
DOG STACKER BULKKHEAD ARRANGEMENT 30/12/1899 GENERAL ARRANGEMENT

VARIOUS PROJECT LAYOUT

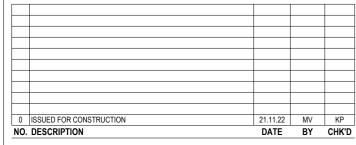
DRAWING No SHEET REV. S040-ENG-ME-DGA-0010 2 OF 2 0











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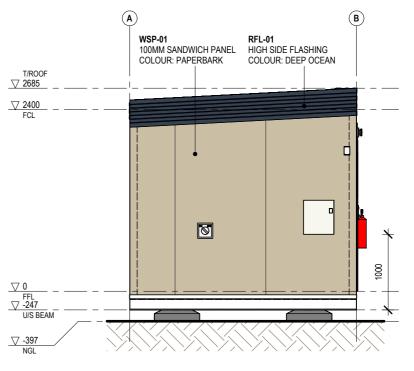
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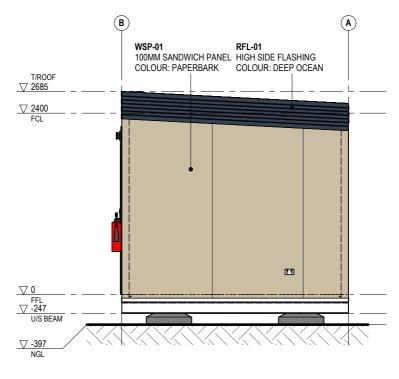
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J003652 - B02 6m X 3m LUNCHROOM PROJECT STATUS ISSUED FOR CONSTRUCTION PROJECT CLIENT PROJECT ADDRESS CAPEX - CBH B02

PROJECT NO.:



SIDE 1 ELEVATION 1:50 A02-FP01



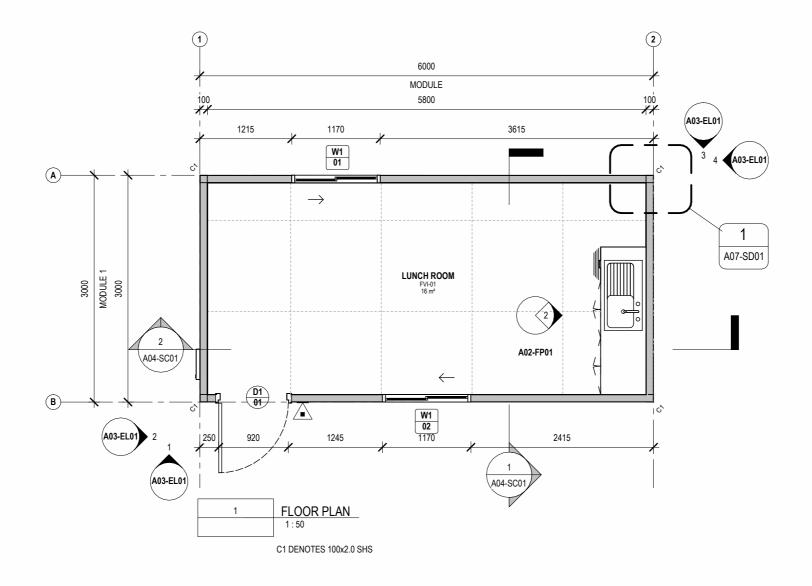
SIDE 2 ELEVATION A02-FP01

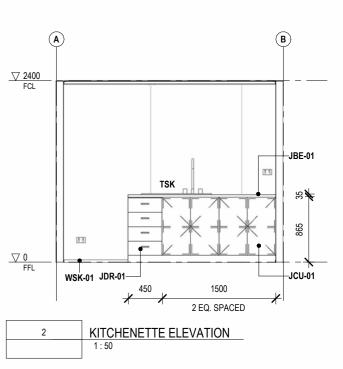
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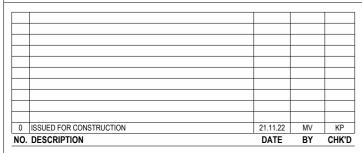


O:\00-Job-Quotes\J003652 - CBH - Corrigin - Ablution & Crib\3-Drafting\Revit\J003652-B02\_6X3 Lunch Room\_R22.rvt

AREA
16 m
16 m







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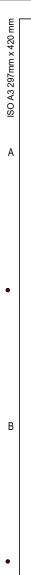
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PRO IECT-	
6m X 3m LUNCHROOM	
PROJECT ADDRESS B02	_
	PROJECT ADDRESS





3

2



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PROJECT:

5

#### 6.0 x 6.0m CRIB ROOM

LOCATION:

#### CORRIGIN

CLIENT:

## **CBH**

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PROJECT NUMBER:

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**3D VIEW** 

DRAWING NO:

xxxx-3DV

BUILDING DESIGN CRITERIA WIND LOAD IN ACCORDANCE WITH AS.1170.2:2002 REGIOINTS:RRAIN CATEGORY 2

ITO-5500-G01-131-0002



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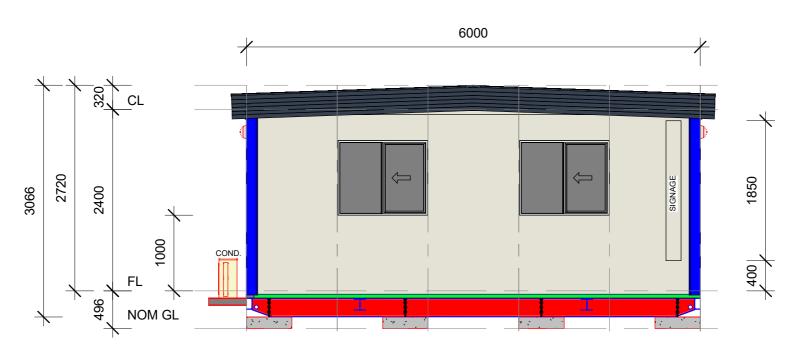
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1 ELEVATION 1 1:50



2 ELEVATION 2 1:50



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PROJECT

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#### 6.0 x 6.0m CRIB ROOM

OCATION:

#### CORRIGIN

CLIENT:

## СВН

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1:50
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#### **ELEVATIONS**

DRAWING NO:

## xxxx-ELV1

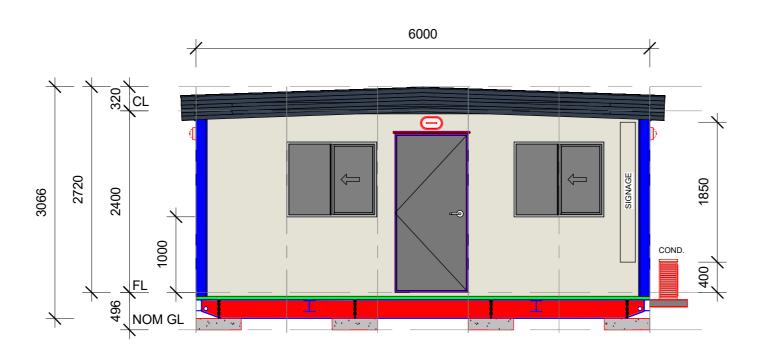
BUILDING DESIGN CRITERIA WIND LOAD IN ACCORDANCE WITH AS.1170.2:2002 REGIO! 1:50 PERRAIN CATEGORY 2



ISO A3 297mm x 420 mm

3

1 ELEVATION 3



2 ELEVATION 4 1:50



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PROJECT:

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### 6.0 x 6.0m CRIB ROOM

LOCATION:

### **CORRIGIN**

CLIENT:

## СВН

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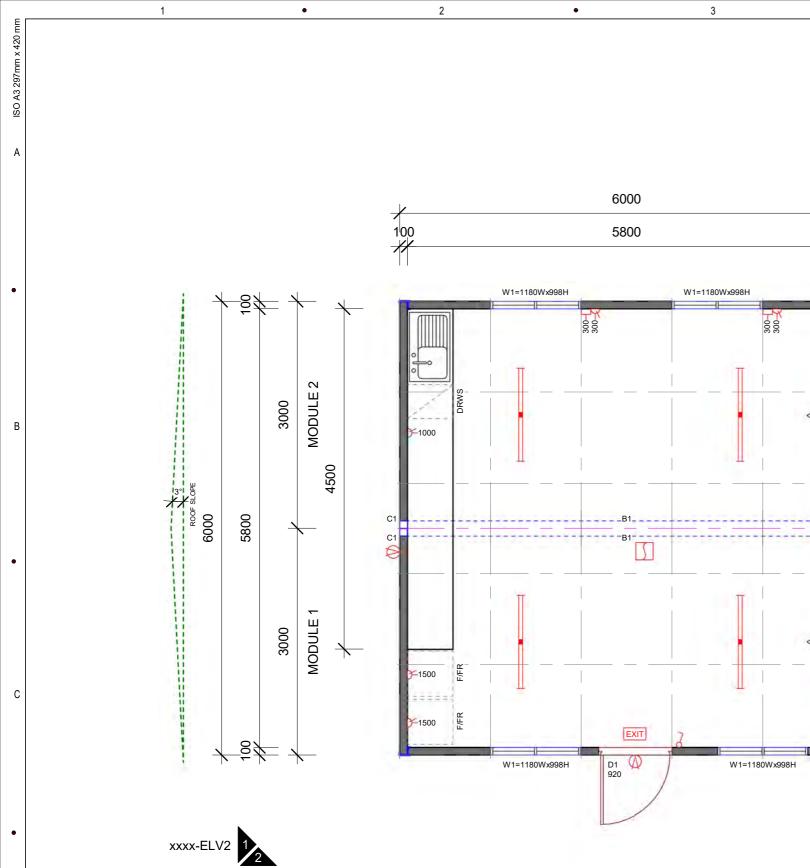
SHEET TITLE:

### **ELEVATIONS**

DRAWING NO:

## xxxx-ELV2

BUILDING DESIGN CRITERIA WIND LOAD IN ACCORDANCE WITH AS.1170.2:2002 REGION A, TERRAIN CATEGORY 2



xxxx-ELV2

FLOOR PLAN 1:50

	ELECTRICAL LEGEND
	CIRCUIT BOARD : DB : POWER : POINT
	LIGHT :ULTRA SLIMLINE LED BATTEN
	LIGHT: ULTRA SLIMLINE LED BATTEN
	BATTERY B/UP
WP	LIGHT :ULTRA SLIMLINE LED BATTEN : W/PROOF
$\circ$	LIGHT : OYSTER FITTING [BAYONET]
0	LIGHT: WELL GLASS
•	LIGHT : DOWN LIGHT
$\bigcirc$	LIGHT : EXTERNAL BULKHEAD : W/PROOF
EXIT	LIGHT: ILLUMINATED EXIT: MAINTAINED
⊕	LIGHT : WALL : BED LIGHT
<b>®</b>	LIGHT : HEATED : BATH ROOM
8	SWITCH : LIGHT : DOUBLE
5	SWITCH : LIGHT : SINGLE
101	SWITCH : LIGHT : TWO WAY
À	SWITCH: ISOLATOR W/PROOF: HEIGHT AFL
	SWITCH : PHOTO-ELECTRIC : [PE CELL]
$\overline{\Delta}$	GPO : 10 AMP SINGLE : HEIGHT SHOWN
	GPO: 10 AMP DOUBLE: HEIGHT SHOWN
<u> </u>	GPO : 15 AMP SINGLE : HEIGHT AFL
	GPO : 15 AMP DOUBLE : HEIGHT SHOWN
	GPO : 20 AMP SINGLE : HEIGHT SHOWN
<u></u>	GPO : 20 AMP DOUBLE : HEIGHT SHOWN
)- FLR	GPO : 10 AMP SINGLE : FLOOR MOUNTED
FLR	GPO : 10 AMP DOUBLE : FLOOR MOUNTED
<u> </u>	GPO : 3-PHASE SINGLE : HEIGHT SHOWN
<u></u>	DATA/PHONE POINT : RJ45 CAT 5E
	DATA/PHONE POINT : RJ45 CAT 6
<u></u> ├ тv	TELEVISION POINT : DRAW WIRE ONLY
	HARDWIRED : FIXTURE
	FAN : EXHAUST : WALL MOUNTED
	FAN : EXHAUST : CEILING MOUNTED
	FAN : REVOLVING : CEILING MOUNTED : 1200 Ø
<b>P</b>	FAN: OSCILATING: WALL MOUNTED
X	FAN : HEATER : WALL MOUNTED
[PP]	PATCH PANEL
	ELECTRIC HAND DRYER
151	FIRE : SMOKE DETECTOR : HARD WIRED
FIP	FIRE : INDICATOR PANEL
FJB	FIRE : JUNCTION BOX
Y	FIRE : BREAK GLASS MANUAL ALARM
<b>元</b>	FIRE: ALARM BELL
≎	FIRE: LIGHT: FLASHING STROBE
<u>A</u>	FIRE : FIRE ENTINGUISHER
	FIRE : BLANKET
	FIRE: HOSE REEL

xxxx-ELV1

100

xxxx-ELV1

STURCTURAL LEGEND				
C1	100x100x3 SHS COLUMN			
B1	150x100x4 RHS BEAM			



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PROJECT:

5

### 6.0 x 6.0m CRIB ROOM

LOCATION:

### **CORRIGIN**

CLIENT:

## **CBH**

PROJECT TEAM INITIALS:

DRAWN BY:	LL
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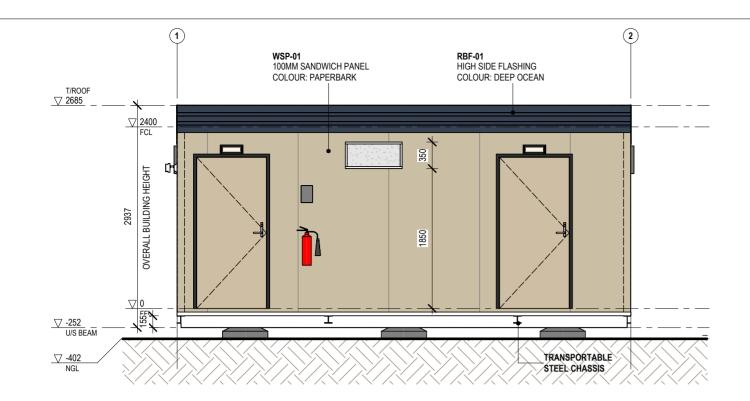
SHEET TITLE:

## FLOOR PLAN / **ELECTRICAL LAYOUT**

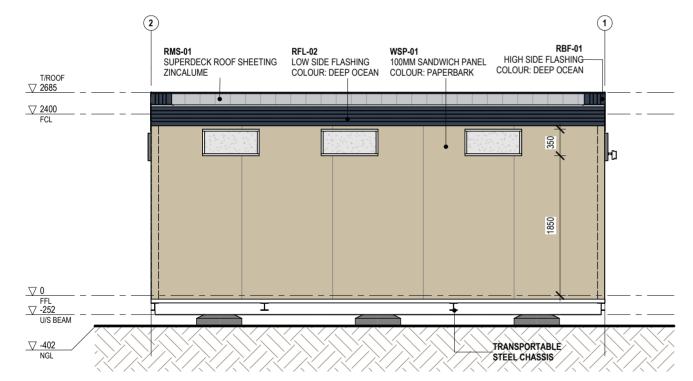
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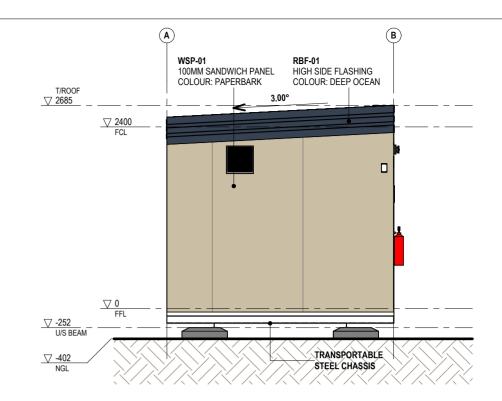
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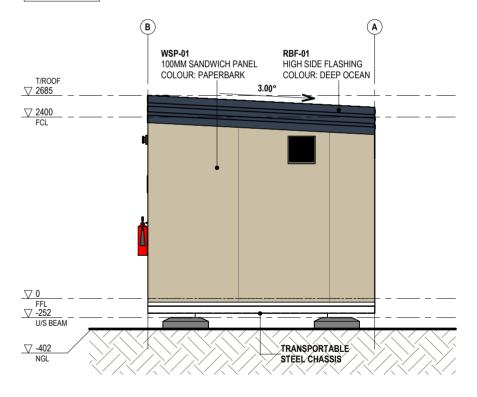




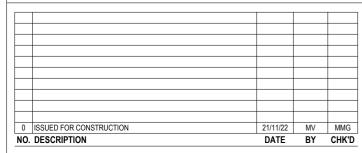
REAR ELEVATION 1:50 A02-FP01







SIDE 2 ELEVATION 1:50 A02-FP01



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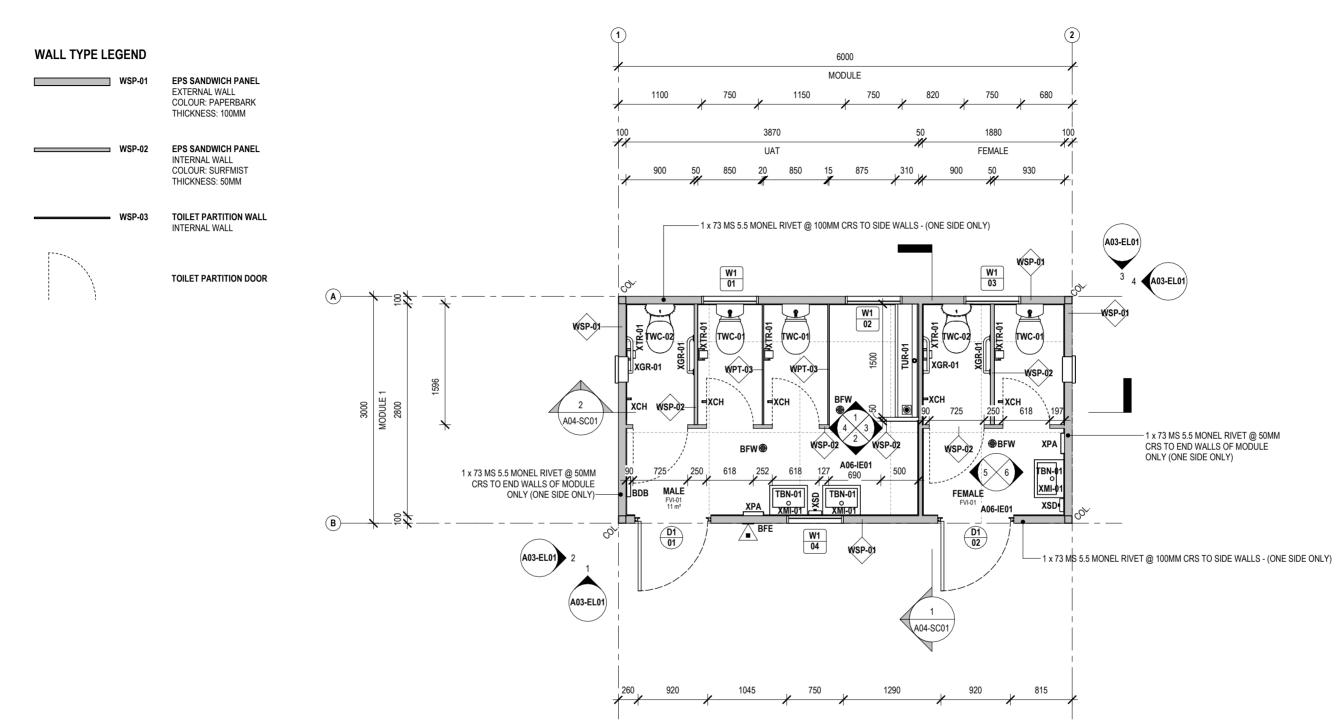
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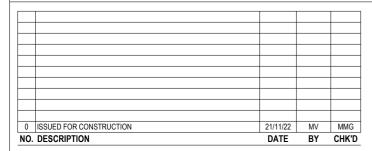
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PROJECT NO.: PROJECT: J003652-B01 ABLUTION PROJECT STATUS ISSUED FOR CONSTRUCTION PROJECT CLIENT PROJECT ADDRESS CAPEX - CBH B01

ROOM NAME	AREA
FEMALE	5 m²
MALE	11 m <sup>2</sup>
TOTAL	16 m²



1 FLOOR PLAN 1:50



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GENERAL NOTES

PROJECT NO.:

J003652-B01

PROJECT STATUS

ISSUED FOR CONSTRUCTION

PROJECT CLIENT

CAPEX - CBH

PROJECT:

ABLUTION

PROJECT:

ABLUTION

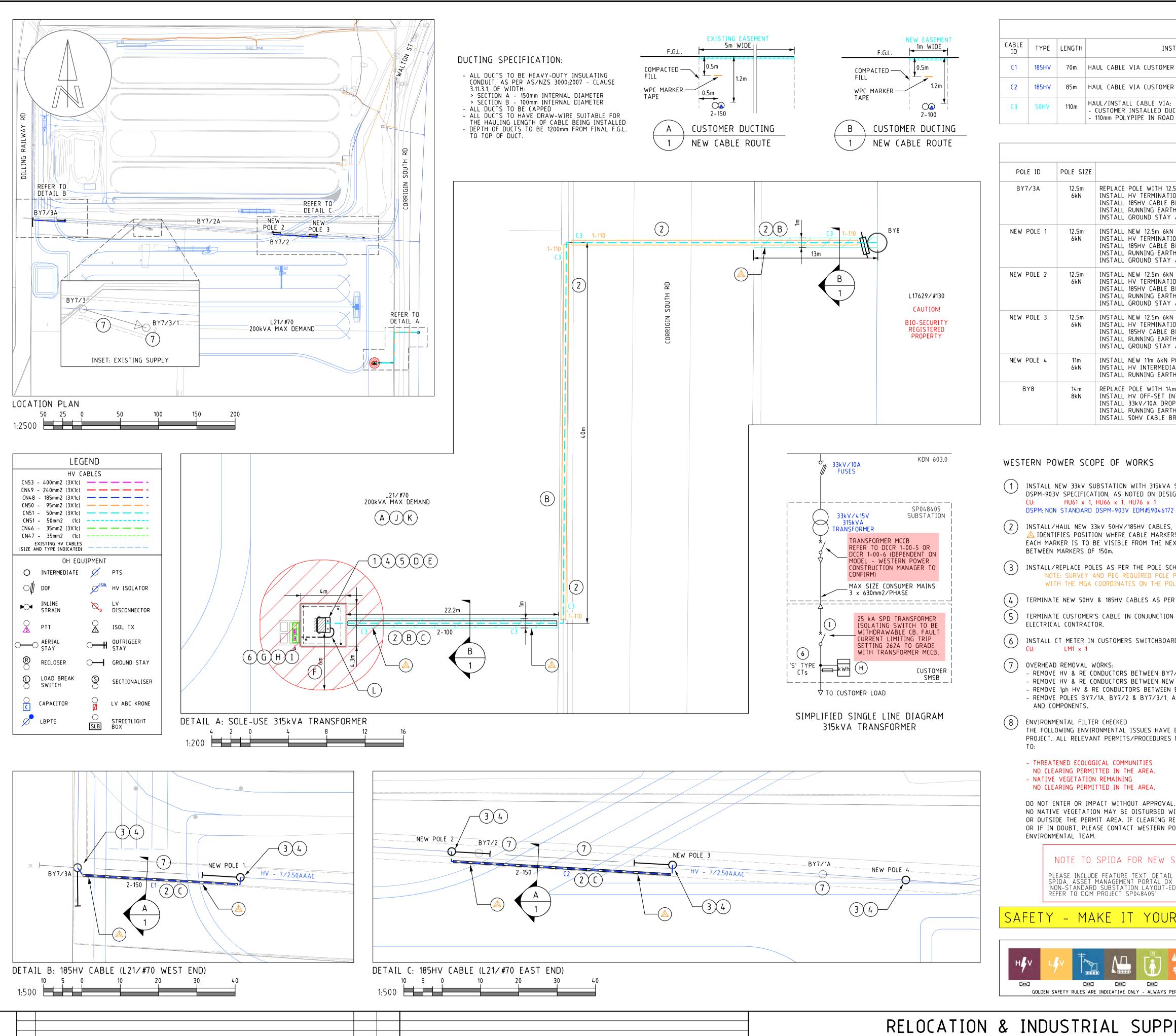
PROJECT ADDRESS

B01

PRAWN CHECKED SCALE SIZE L: 50 A3

DRAWING NO. REVISION

A02-FP01



CAD Plan - WPEDC-0409 - CBH Corrigin DQA\_Bound\_C.dgn

REFERENCE FILE DETAILS

D.J. | 12/21 | EDM# 58931343 - HAZARD MANAGEMENT REGISTER

MM | 01/22 | SP048405 - ISAM.DGN

DRN DATE

A ISSUED FOR CONSTRUCTION

1 ISSUED FOR ENGINEERING REVIEW

REVISIONS

	CABLE SCHEDULE							ASCON		
CA	ABLE TYPE LENGTH INSTRUCTION CU TERMINATION A TERMINATION B				ON B	CHECK				
	ID	1176	LLINGIII	11/31/2001	CU	LOCATION	DCSH	LOCATION	DCSH	
	<b>C1</b>	185HV	70m	HAUL CABLE VIA CUSTOMER INSTALLED DUCTS	CN48 x 70m, CN54 x 10, CN73 x 2	BY7/3A	H09-1	NEW POLE 1	H09-1	
	C2	185HV	85m	HAUL CABLE VIA CUSTOMER INSTALLED DUCTS	CN48 x 85m, CN54 x 10, CN73 x 2	NEW POLE 2	H09-1	NEW POLE 3	H09-1	
	(3	50HV	110 m	HAUL/INSTALL CABLE VIA: - CUSTOMER INSTALLED DUCTS WITHIN L21/#70 - 110mm POLYPIPE IN ROAD RESERVE	CN51 x 110m, CN54 x 10, CN73 x 2	BY8	H08-1	315kVA TRANSFORMER	DSPM	

		POLE SCHEDULE					ASCON
POLE ID	POLE SIZE INSTRUCTION		CII	Decri	LOCATION (MGA94-50)		CHECK
POLE 10	PULE SIZE	INSTRUCTION	CU	DCSH	EASTING	NORTHING	
BY7/3A	12.5m 6kN	REPLACE POLE WITH 12.5m 6kN POLE INSTALL HV TERMINATION CROSS-ARM. INSTALL 185HV CABLE BRACKET & TERMINATE CABLE. INSTALL RUNNING EARTH TERMINATION. INSTALL GROUND STAY AT 45°	P08 x 1, HV5 x 1, HU18 x 1, RE3 x 1, ST1 x 1, CN1 x 3, CN9 x 3, CN70 x 3	H09-1	EXISTING	EXISTING	
NEW POLE 1	12.5m 6kN	INSTALL NEW 12.5m 6kN POLE INSTALL HV TERMINATION CROSS-ARM. INSTALL 185HV CABLE BRACKET & TERMINATE CABLE. INSTALL RUNNING EARTH TERMINATION. INSTALL GROUND STAY AT 45°	P08 x 1, HV5 x 1, HU18 x 1, RE3 x 1, ST1 x 1, CN1 x 3, CN9 x 3, CN70 x 3	H09-1	581542.22	6421281.14	
NEW POLE 2	12.5m 6kN	INSTALL NEW 12.5m 6kN POLE INSTALL HV TERMINATION CROSS-ARM. INSTALL 185HV CABLE BRACKET & TERMINATE CABLE. INSTALL RUNNING EARTH TERMINATION. INSTALL GROUND STAY AT 45°	P08 x 1, HV5 x 1, HU18 x 1, RE3 x 1, ST1 x 1, CN1 x 3, CN9 x 3, CN70 x 3	H09-1	581813.26	6421265.54	
NEW POLE 3	12.5m 6kN	INSTALL NEW 12.5m 6kN POLE INSTALL HV TERMINATION CROSS-ARM. INSTALL 185HV CABLE BRACKET & TERMINATE CABLE. INSTALL RUNNING EARTH TERMINATION. INSTALL GROUND STAY AT 45°	P08 x 1, HV5 x 1, HU18 x 1, RE3 x 1, ST1 x 1, CN1 x 3, CN9 x 3, CN70 x 3	H09-1	581870.88	6421262.05	
NEW POLE 4	11m 6kN	INSTALL NEW 11m 6kN POLE INSTALL HV INTERMEDIATE CROSS-ARM INSTALL RUNNING EARTH INTERMEDIATE	P06 x 1, HV01 x 1, RE1 x 1, CN18 x 4	H01-1	581870.88	6421262.05	
BY8	14 m 8 k N	REPLACE POLE WITH 14m 8kN POLE INSTALL HV OFF-SET INTERMEDIATE CROSS-ARM WITH DOFS INSTALL 33kV/10A DROP OUT FUSES INSTALL RUNNING EARTH INTERMEDIATE INSTALL 50HV CABLE BRACKET AND TERMINATE CABLE VIA DOFS	P011 x 1, HV12 x 1, HV51 x 3, HU20 x 1, RE1 x 1, CN18 x 4, CN9 x 3, CN70 x 3	H08-1	EXISTING	EXISTING	

## WESTERN POWER SCOPE OF WORKS

- INSTALL NEW 33kV SUBSTATION WITH 315kVA SOLE-USE TRANSFORMER TO DSPM-903V SPECIFICATION, AS NOTED ON DESIGN DRAWING. CU: HU61 x 1, HU66 x 1, HU76 x 1
- INSTALL/HAUL NEW 33kV 50HV/185HV CABLES, AS PER THE CABLE SCHEDULE. △ IDENTIFIES POSITION WHERE CABLE MARKERS ARE TO BE INSTALLED. EACH MARKER IS TO BE VISIBLE FROM THE NEXT WITH A MAXIMUM SPACING BETWEEN MARKERS OF 150m.
- INSTALL/REPLACE POLES AS PER THE POLE SCHEDULE. NOTE: SURVEY AND PEG REQUIRED POLE POSITIONS IN ACCORDANCE WITH THE MGA COORDINATES ON THE POLE SCHEDULE.
- TERMINATE NEW 50HV & 185HV CABLES AS PER THE CABLE SCHEDULE.
- TERMINATE CUSTOMER'S CABLE IN CONJUNCTION WITH THE CUSTOMER'S ELECTRICAL CONTRACTOR.
- INSTALL CT METER IN CUSTOMERS SWITCHBOARD.  $LM1 \times 1$
- 7) OVERHEAD REMOVAL WORKS: REMOVE HV & RE CONDUCTORS BETWEEN BY7/3A AND NEW POLE 1 REMOVE HV & RE CONDUCTORS BETWEEN NEW POLE 2 AND NEW POLE 3
  - REMOVE 1ph HV & RE CONDUCTORS BETWEEN BY7/3 AND BY7/3/1 - REMOVE POLES BY7/1A, BY7/2 & BY7/3/1, AND ALL ASSOCIATED ASSETS AND COMPONENTS.
- ENVIRONMENTAL FILTER CHECKED THE FOLLOWING ENVIRONMENTAL ISSUES HAVE BEEN IDENTIFIED FOR THIS PROJECT. ALL RELEVANT PERMITS/PROCEDURES MUST BE OBTAINED/ADHERED
  - THREATENED ECOLOGICAL COMMUNITIES NO CLEARING PERMITTED IN THE AREA.
  - DO NOT ENTER OR IMPACT WITHOUT APPROVAL. NO NATIVE VEGETATION MAY BE DISTURBED WITHOUT A PERMIT OR OUTSIDE THE PERMIT AREA. IF CLEARING REQUIRED OR IF IN DOUBT, PLEASE CONTACT WESTERN POWER ENVIRONMENTAL TEAM.

NOTE TO SPIDA FOR NEW SUBSTATION

PLEASE INCLUDE FEATURE TEXT, DETAIL AND COMMENT IN SPIDA, ASSET MANAGEMENT PORTAL DX STATING 'NON-STANDARD SUBSTATION LAYOUT-EDM#59046172 REFER TO DQM PROJECT SP048405'

### CUSTOMER SCOPE OF WORKS

- A THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE WESTERN AUSTRALIAN SERVICE AND INSTALLATION REQUIREMENTS.
- CUSTOMER TO ARRANGE FOR AN 'EASEMENT IN GROSS' UNDER THE ENERGY OPERATORS POWERS ACT 1979 FOR L21/#70 & L17629/#130. CUSTOMER IS RESPONSIBLE FOR ALL THIRD PART NEGOTIATIONS. CUSTOMER TO SUBMIT THE DEPOSITED PLAN TO WESTERN POWER PRIOR TO THE COMMENCEMENT OF WORKS. CONTACT THE WESTERN POWER PROPERTY SPECIALIST ON 9326 6308 FOR DETAILS.
- CUSTOMER TO SUPPLY AND INSTALL DUCTING AS NOTED ON THE DESIGN DRAWING DUCTING DETAILS A & B. IF REQUIRED, AND DEPENDENT ON ANY CLEARING REQUIREMENTS ON CORRIGIN SOUTH RD, CUSTOMER TO INSTALL DUCTS IN EXTENDED 'EASEMENT IN GROSS' ALONG WESTERN EDGE OF L21/#70.
- SUBSTATION TO BE DESIGNED TO MINIMUM DIMENSIONS SHOWN ON THE DRAWING AND IN-CONJUNCTION WITH WESTERN POWER'S DRAWING DSPM-901.
- SUBSTATION SITE WILL BE PREPARED AS PER THE WESTERN AUSTRALIAN SERVICE AND INSTALLATION REQUIREMENTS CLAUSE 14.4.6. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING:
  - PEGGING. COMPACTION AND LEVELLING. A COMPACTION CERTIFICATE IS REQUIRED.
  - LOCATED 500mm ABOVE 100 YEAR FLOOD LEVEL AND NOT IN A
- PRECARIOUS POSITION. - CLEAR OF ALL SERVICES INCLUDING ENCROACHMENT.
- CLEAN SAND FILL TO A DEPTH OF 1.6m (ROCK). EXCAVATIONS GREATER THAN 1.5m TO BE IN ACCORDANCE WITH THE EXCAVATION CODE OF PRACTICE.
- NO BUILDINGS ALLOWED WITHIN 6m OF THE SUBSTATION UNLESS 2 HOUR FIRE RATED. SEE WESTERN POWER DRAWING DSM-5-01 FOR DETAILS.
- CUSTOMER MUST INSTALL MSB CONTIGUOUS WITH SUBSTATION.
- CUSTOMER TO SUPPLY AND INSTALL 'S' TYPE METERING CT's.
- CUSTOMER ELECTRICAL CONTRACTOR TO ENSURE CUSTOMER'S SPD GRADES WITH WESTERN POWER'S UPSTREAM PROTECTION AS NOTED ON THE
- THIS DESIGN IS INTENDED TO BE CONSTRUCTED DE-ENERGISED. YOUR ELECTRICITY SUPPLY MAY NOT BE AVAILABLE DURING THIS TIME
- CUSTOMER MUST COMPLY WITH POWER QUALITY LIMITS AS PER AS/NZS

TS IEC 61000.3.5 AND WESTERN POWER TECHNICAL REQUIREMENTS.

CUSTOMER'S ELECTRICAL CONTRACTOR IS TO SUPPLY SUITABLE LUGS AND CRIMPING TOOLS FOR TERMINATION OF CUSTOMERS CABLE.

## SAFETY - MAKE IT YOUR PRIMARY VALUE





SIMPLIFIED LINE DIAGRAM.

CUSTOMER CONTACT DETAILS CATHERINE LORECK POSITION: ELECTRICAL ENGINEER

COMPANY: CBH GROUP 08 9416 6190 EMAIL: Catherine.Loreck@cbh.com.au

## RELOCATION & INDUSTRIAL SUPPLY

33kV/200kVA SUPPLY WITH OVERHEAD TO UNDERGROUND CONVERSION

70 CORRIGIN SOUTH RD - CORRIGIN NETWORK VOLTAGES - 415V / 33kV DESIGN DRAWING

westernpower CUSTOMER CONNECTION DESIGN DRAWING NUMBER TEL: 13 10 87 SP048405 DATE: 12/2021 | SCALE: AS NOTED @ A SHEET 1 OF 1 ORIGINAL SIZE - A1



### INTRODUCTION

### **Purpose and Scope**

This management plan defines the requirements associated with the process of minimising the impact of dust emissions that could potentially be generated from activities at CBH Corrigin Grain Storage facilities.

CBH is committed to improving the overall environmental impacts of its business, and in achieving the environmental objectives outlined in the CBH Group Health, Safety and Environmental Policy.

All activities undertaken at Corrigin Grain Storage facilities must comply with this Dust Management Plan.

The plan will be subject to ongoing review and therefore will be subject to change to ensure that it remains relevant and effective considering site performance, past results, and technological advances throughout the life of the site.

#### **Definitions**

Term	Definition
Dust	Dust is considered to be any particle suspended within the atmosphere. Particles can range in size from as small as a few nanometres to 100 microns (um) and can become airborne through the action of wind turbulence, by mechanic disturbance of fine materials or through the release of particulate rich gaseous emissions.
	Dust is measured using a variety of methods, the most common being Total Suspended Particulates (TSP), which normally measure up to 50um, and PM <sub>10</sub> or PM <sub>2.5</sub> (particulate matter less than 10um or 2.5um in size, respectively). Deposited matter measures the mass of any particulate falling out of suspension expressed in mass per area per time and is the least commonly used in determining dust concentrations (Environment Australia, 1998).
Fugitive Dust	Refers to dust derived from a mixture of sources, or a source not easily defined and includes dust generated from vehicular traffic on unpaved roads, materials transport, and handling and unvegetated soils and surfaces.
Nuisance Dust	Describes dust particles ranging in size from 1mm to 50um, which reduce environmental amenity without necessarily resulting in material environmental harm.
PM <sub>10</sub>	A criteria air pollutant consisting of small particles with an aerodynamic diameter less than or equal to a nominal 10 microns. Their small size allows them to make their way to the air sacs deep within the lungs where they may be deposited and result in adverse health effects.
TWA	Time Weighted Average
PM <sub>2.5</sub>	Includes tiny particles with an aerodynamic diameter less than or equal to a nominal 2.5 microns. This fraction of particulate matter penetrates most deeply into the lungs.
NEPM	National Environmental Protection (Ambient Air Quality) Measure
СВН	Co-operative Bulk Handling Limited
CGS	CBH Corrigin Grain Storage facilities
SHARE	CBH incident and hazard reporting system

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### **BACKGROUND**

#### Location

The CBH Corrigin Grain Storage facilities (CGS) forms part of CBH's grain storage network across the Wheatbelt Region of Western Australia. The CGS is located within the Shire of Corrigin on the corner of Kunjin St and Walton St.

The CGS was created in 1971 and has four open bulk heads, three horizontal storages and four temporary bulk heads with a total storage capacity of 181,200 tonnes. Storage facilities and associated grain receival, handling and outloading infrastructure are utilised for road transport.



Figure 1: Corrigin Grain Storage Location

Extract From MNG

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### **Operations Description**

The CGS receives grain from surrounding district via road transport. Received grain is sampled, segregated, and stored on site until it is sent via train to Kwinana Grain Terminal for export.

Other activities conducted at the premises to enable the continued safe and efficient handling of grain include but are not limited to ongoing maintenance on infrastructure, civil and ground improvement works, pavement works, track repair and maintenance and other associated improvement, refurbishment and construction works as required from time to time.

The Area Manager is responsible for dust control on site. Contact details are as follows:

Sam Caley Area Manager – Area 13 sam.caley@cbh.com.au M: 0419 232 951

The site layout plan for the site is illustrated in Figure 2 & 3.

### **Sensitive Receptors**

The CGS is surrounded by land zoned for rural and industry purposes. Sensitive receptors also include environmental conservation reserves, public open space and railways. All areas may be impacted by dust emissions from CBH activities.

Locations of sensitive receptors and their proximity to CBH operations are outline in Figure 3: Sensitive Receptor Locations in Proximity to CBH Corrigin Grain Storage.

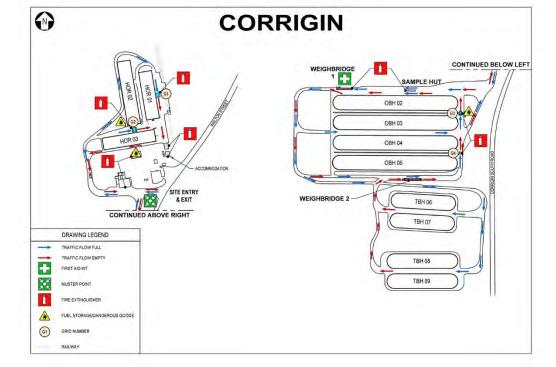


Figure 2: CBH Corrigin Grain Storage Traffic Map

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LOCAL SCHEME RESERVES

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Figure 3: Sensitive Receptor Locations in Proximity to CBH Corrigin Grain Storage

Extract From Shire of Corrigin displaying the Sensitive Receptors in proximity to CBH Corrigin Grain Storage. The most notable receptors are public open space, environmental conservation reserve, rural zones, railways and general industry.

### **COMPLIANCE OBLIGATIONS**

#### **Environmental Protection Act 1986**

The principal statute relevant to environmental protection in WA. It provides for the establishment of the EPA, preparation, and implementation of EPPs, environmental impact assessment and approvals for new developments, licensing and permitting, and waste management.

### **Environmental Protection (Unauthorised Discharges) Regulations 2004**

Under the Environmental Protection (Unauthorised Discharges) Regulations 2004, it is an offense to cause or allow certain materials to enter the environment in connection with a commercial or business activity.

Under regulation 3(1) a person who, in the course of or in connection with a business or a commercial activity, causes or allows dust (or other schedule 1 material) to be discharged into the environment commits an offence.

### **Regulatory Criteria for Dust**

The National Environmental Protection Council Act 1994 (Cth) has established national objectives in the form of the National Environment Protection Measures (NEPMs) designed to manage ambient air quality concentrations. Fugitive dust emissions as PM10 should not exceed NEPM (Ambient Air Quality) criteria of 50 µm/m³ (24-hour average) beyond the site boundary.

neter Monitoring Point	Criteria Target	Averaging Period	Source
------------------------	-----------------	------------------	--------

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Particulates as PM <sub>10</sub>	Between source and	50 μg/m <sup>3</sup>	24-hour average	NEPC 2016
	sensitive receptor			

**Table 2: Regulatory Criteria for Dust** 

#### POTENTIAL IMPACTS

### **Product Characteristic Summary**

Product Type	Product	The state of the s		Transport Mode	Storage
Unprocessed Grain	Wheat, Barley, Canola, Lupins	<2.8mm	<13%	Truck and Rail	Enclosed fixed storage and open bulkheads

**Table 3: Product Characteristics** 

#### Sources of Dust

Particulate emissions from a wide range of sources can impact upon air quality in proximity to CBH operations including:

- Unloading of bulk grain products at train and truck unloaders
- Loading of bulk products via conveyors and elevators
- Operation of conveyor and grain storage facilities
- Localised maintenance, construction, and excavation activities
- Heavy vehicle movements
- Offsite agricultural, road maintenance and construction activities
- Dust from unsealed surfaces and disturbed ground.

Elevated ambient background dust levels (regional and local scale) can also contribute to particulate levels in proximity to the site along with offsite sources, such as suspended aerosol components in windblown dust from hot and dry environments.

#### **Characteristics of Grain Dust**

Grain dust is a type of inhalable dust with its own designated Time Weighted Average (TWA) exposure standard of 1.5 mg/m³ (Safework Australia). The recommended TWA is for exposure to the total dust produced during harvesting and handling activities of whole grain of oat, wheat and barley prior to the milling operation to minimise the potential for acute irritation of the upper respiratory tract, eyes and skin, bronchitis and decreased pulmonary function (Safework Australia). It is a respiratory sensitiser and can induce allergic reactions in the respiratory system, with symptoms being immediate or delayed and can occur some hours after exposure when symptoms are not often associated with the trigger. Grain dust is not classified as a carcinogen according to the Globally Harmonized System of Classification and Labelling of Chemicals (GHS).

Grain dust consists of 60 to 75 per cent organic material and 25 to 40 per cent inorganic material and can be contaminated by other materials during its growth, transport, and processing. These can include (but are not limited to).

- Bacteria
- Fungal spores
- Insect and insect body parts
- Storage mites and excreta
- Animal hair

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- Pollen
- Fungicides, pesticides & fertiliser residues.

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#### **Risk Assessment**

A risk assessment has been completed to identify potential pathways and receptors that may be impacted from various sources of dust emissions at CGS. Risk ratings have been established based on the CBH Hazard, Risk and Change Management Procedure.

Management actions to mitigate risks identified are outlined in the following sections.

Potential Emissions	Activity / Sources	Potential Receptors	Potential Pathways	Potential Adverse Impacts	Consequence	Likelihood	Risk Rating
Dust emissions	Truck and rail in- loading or out- loading.	Residential	Air / wind dispersion.	Impacts to human health through inhalation of particulates.	Minor	Unlikely	Low
	Stockpiling of bulk materials (including within storage sheds).  Transfer points within the Facility, and other supporting equipment.	Public open spaces  Commercial premises	Dust settling on infrastructure  Resuspension of particulates in high wind conditions and severe weather.	Impacts to amenity at nearby sensitive receptors resulting in nuisance dust (visual dust emissions).  Dust deposition on private property.  Impacts to public road users.  Complaints.	Minor	Possible	Moderate
	Exposed areas / unsealed roadways			Adverse media attention.			

Table 4: Pathways and receptors analysis risk rating

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#### **OBJECTIVES AND TARGETS**

As outlined in CBH's Environmental Management Standard the key objective for protection of air quality is to ensure "adverse impacts on local or regional air quality from CBH generated air emissions (such as dust, odour, or combustion emissions) are minimised". The following objectives, targets and performance indicators have been established to enable the protection of air quality to be achieved.

Objective	Target	Performance Indicator
Dust emissions do not adversely impact public health beyond the CBH operational boundary.	Dust emissions related to CBH operations remain below target levels for PM <sub>10</sub> as defined in NEPM.	Visual monitoring or Continuous PM <sub>10</sub> monitoring (where deemed necessary).
Dust emissions do not adversely impact public amenity beyond the CBH operational boundary.	No public complaints attributed to dust emissions from CBH operations.	Public Complaints.
Dust emissions do not adversely impact environmental values beyond the CBH operational boundary.	No reportable incidents relating to dust emissions which cause pollution to natural or built environment.	Reportable Incidents in SHARE.

**Table 5: Objectives, Targets and Performance Indicators** 

### **IMPLEMENTATION STRATEGY**

A range of management actions are implemented at CBH to ensure that objectives and targets for protecting air quality can be met. The management actions in the table below shall be implemented by CBH, Contractors, and customers to enable dust management objectives to be achieved.

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Aspect	Dust Management Action	Frequency/Timing	Responsibility
Training	Environmental issues including dust management are and will continue to be included as part of CBH induction programs for all CBH employees and contractors	Prior to new employees starting	Area / Project Manager
Grain dust suppression systems	Product moisture management is not currently in place or possible at grain handling facilities due to quality impacts to the grain. Investigations are ongoing as to where misting may be beneficial but not pose any product quality risk.	n/a	n/a
Conveyors	Wherever practicable dust covers and wind shields shall be maintained on all conveyors to contain dust and spillage.  Measures shall be in place to prevent overloading of conveyors and prevent spillages.	Whenever product movement is occurring.	Maintenance Superintendent / Area Manager
Roadways and open areas	Sweeping and housekeeping duties will be completed as required on sealed roadways, and around infrastructure to remove product spillage that has the potential to generate dust.	Frequency of sweeping commensurate with build-up.  Frequency of dust suppression in line with situational requirements.	Operations Supervisor
	Unsealed open areas and roadways are either sheeted with gravel or appropriate dust suppression or chemical soil stabilisers are applied.	•	
Truck Discharge Grids	Regular hygiene activities shall be conducted around truck discharge grids to remove residual product spillage and prevent it becoming windblown. Where product is migrating due to vehicle movement hygiene activities are to be employed.	At all times during truck loading and unloading activities.	Area Manager / Maintenance Superintendent
	Hygiene of truck wheels and wheel guards shall be undertaken where required to prevent tracking of product outside of discharge grids or storage sheds.		
Truck Movement	All grain haulage trucks shall be tarped when transporting product within the facility to ensure dust generation is minimised.	All grain haulage trucks shall be tarped when transporting product within the	Operations Supervisors/ Transporters /Project Manager

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Aspect	Dust Management Action	Frequency/Timing	Responsibility
	All site traffic is required to adhere to the site speed limit to minimise dust lift generated by vehicle movement, and this will be communicated at any Growers and Contractor Meetings.	facility to ensure dust generation is minimised.	
Hygiene Program	Hygiene activities will occur daily to maintain a high standard of housekeeping. This reduces the amount of grain and dust build up when more thorough cleaning is required or when maintenance is undertaken.  During harvest receivals, efforts are made to sweep dust from the floors of storages on in loading to reduce the amount of dust on outturn.  Safety critical grain spills are cleaned up immediately.	At all times during operations.	Operations Supervisor
Inspections	Inspections of facilities shall be undertaken at regular intervals to ensure dust control measures are in place and effective. These include: Environmental Critical Control Verification Inspections Hygiene Inspections Workplace Inspections	As required.	Quality Coordinator / Area Manager / Operations Supervisor
Changes to Operations	Changes to infrastructure, handling methods and throughput volumes shall be thoroughly assessed to ensure environmental, human health and amenity impacts are managed.  Project activities outside of operations to have Construction Risk Assessment Workshop (CRAW), and environmental management to be reviewed to include additional controls and monitoring if required.	Prior to change in throughput volume, infrastructure or handling method, or site activities.	Area Manager / Maintenance Superintendent / Project Manager
Boundary dust control	Where deemed necessary shade cloth is to be installed along boundary fence lines at key locations to reduce emissions of fugitive dust from facilities.	As required.	Area Manager/ Maintenance Superintendent / Project Manager

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Aspect	Dust Management Action	Frequency/Timing	Responsibility
	Preference for screening trees to be retained and/or planted where landscaping design, Local Government Authority and road safety requirements permit to assist in mitigating nuisance dust.		
Monitoring	Regular visual monitoring of site activities for the generation of excessive dust emissions in order to implement early intervention measures.	As required.	Area Manager / Project Manager / Local Government Authority
	Daily assessment of weather conditions and potential effect on dust generation from CBH activities.		
	Where required continuous dust monitoring equipment to be installed to assess dust concentrations at CBH boundaries.		
Product handling procedures in place to mitigate dust emissions during bulk material handling	Receive Grain SOP Store Grain SOP Outload Grain SOP Outturn Grain SOP Hygiene SOP	At all times during operations.	Area Manager

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#### **MONITORING**

Dust monitoring data is obtained by from CBH site specific monitoring equipment that is installed where CBH risk assessments identify the measure is necessary or an incident or complaint response requires this as an action.

Monitoring, measurements, equipment siting and reporting will be conducted in accordance with:

- Section 4 of AS 2436-2010 Guide to Noise and Vibration Control on Construction, Demolition and Maintenance Sites
- AS 3580.1.1-2007 Methods for sampling and analysis of ambient air Part 1.1;
- National Environmental Protection Council (1998) National Environmental Protection Measure for Ambient Air Quality, June 1998 and variation dated 2015; and
- A guideline for managing the impacts of dust and associated contaminants from land development sites, contaminated sites remediation and other related activities, Department of Environment and Conservation March 2011.

Real time dust monitoring data, including wind direction information can be collected and access provided to key CBH personnel following approval by the CBH Environmental and Sustainability Manager.

Where real time dust monitoring equipment is deemed necessary, early warning levels and alerts shall be established with the aim to provide early notification to CBH in order to implement effective preventative measures.

### TRIGGERS AND CORRECTIVE ACTIONS

In the event of excessive dust emissions being generated from CGS, activities will be reviewed and adjusted until emissions are reduced or controlled.

For trigger events, the process in Figure 4: CBH Guideline for Dust Management shall be followed.

Trigger	Corrective Action	Responsibility
Visual monitoring by CBH staff identifies excessive dust emissions at site boundary.	<ol> <li>Assess source of dust, wind, weather conditions.</li> <li>Cease dust generating activity until weather conditions change or additional dust control measures are in place.</li> </ol>	CBH Operations Supervisors CBH Area Manager CBH Project Manager
Monitoring equipment advise of PM <sub>10</sub> exceedance of early warning levels.	<ol> <li>Assess source of dust, wind, weather conditions.</li> <li>Cease dust generating activity until weather conditions change or additional dust control measures are in place.</li> </ol>	CBH Operations Supervisors CBH Area Manager
Public complaint received relating to excessive dust emissions.	Assess source of dust, wind, weather conditions.     Cease dust generating activity until weather conditions change or additional dust control measures are in place.	CBH Operations Supervisors CBH Area Manager
Repeat complaints indicate excessive dust emissions are impacting neighbouring businesses or public.	<ol> <li>Assess source of dust.</li> <li>Investigate adequacy of control measures.</li> <li>Implement interim dust control measures as necessary until further controls can be put in place.</li> </ol>	CBH Operations Supervisors CBH Area Manager CBH General Manager

**Table 6: Triggers and Corrective Actions** 

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Figure 4: CBH Guideline for Dust Management

Assess activities and identify source of dust generation

- •Confirm dust is from CBH activities and not from external sources.
- •Identify the specific activities generating the dust.

Are dust control measures in place and working correctly

- Ensure all required dust covers, wind shields, shade cloth and tarps are in place.
- Check unsealed areas and earthworks have dust suppression measures as required.

Are hygiene works required to remove excess spilled grain/grain dust.

- •Confirm hygiene works being completed frequent enough.
- Check if there is an equipment issue resulting in hygiene issues.

Can additional dust control methods be implemented.

- •Implement additional dust control measures (additional dust suppression on unsealed areas etc.).
- •Install additional equipment (shade cloth or covers to create wind breaks etc.).

Do the weather conditions require works to be modified.

- Reschedule activities with high dust generation potential.
- Change the location of specific works so dust can be contained to site.

Do activities need to cease until further controls can be implemented or weather conditions become more favourable.

- Cease works generating excessisve dust.
- •Contain any material that is generating excessive dust.

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### STAKEHOLDER CONSULTATION

CBH stakeholder consultation and liaison in relation to dust includes the following:

Regular consultation with growers, local government authority and other stakeholders.

CBH will work closely with all relevant stakeholders in relation to dust generation concerns associated with CBH activities.

#### REPORTING

This section outlines the reporting responsibilities for all concerned, not only the individual with specified tasks but all employees, contractors, and visitors to CBH sites and receival points.

All CBH employees and contractors will be required to report generation of significant dust plumes, and /or any increase in dust levels to their Supervisor or Area/Project Manager as per the Incident Management Group Procedure. All incidents relating to excessive dust emissions or complaints shall be recorded in SHARE.

In addition, <u>any complaints received</u> regarding dust is immediately referred to the Area/Project Manager, who would then notify the General Manager of the following information.

- Date of complaint
- Time of Complaint
- Location of Complaint
- Nature of Complaint
- Name of Complainant (if given)
- A summary of any action taken.

All feedback and complaints shall be investigated thoroughly, and an assessment completed to determine appropriate course of action. A response is to be provided to the complainant within three (3) business days, or as otherwise agreed between CBH and the complainant. This response may include investigation findings and remedial action taken.

### **MONITORING, EVALUATION AND REVIEW**

This Dust Management Plan will be reviewed regularly in response to the following:

- Significant changes to infrastructure, operations and/or dust control equipment
- In response to issues raised by regulatory agencies or the community or relevant stakeholders
- In response to additional studies, significant incidents, or monitoring information (such as dust/wind modelling).

The Document Custodian is responsible for conducting the review in accordance with the Document Control and Records Management Group Procedure (STORE-1473931053-253).

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### **ASSOCIATED DOCUMENTS**

Reference	STORE ID
Health, Safety and Environment Policy	STORE-1473931053-383
Environmental Management Standard	STORE-1473931053-261
Hazard, Risk and Change Management Procedure	STORE-1473931053-382
Incident Management Group Procedure	STORE-1473931053-24370

### **REFERENCES**

Document	Title
Act or Regulation	Environmental Protection Act 1986
	Environmental Protection (Unauthorised Discharges) Regulations 2004
	The National Environmental Protection Council Act 1994 (Cth)
Report	Safe Work Australia Evaluation Report - Grain Dust (Oats, Wheat, Barley)

### **DOCUMENT CONTROL**

### **Authorities**

Approved By	Area Manager	Approval Date	
Review Frequency	Annual	Next Review Date	
Owner	Principal – Environment & Sustainability	Custodian	Specialist – Environment & Sustainability
Division	Operations	Department	Health, Safety and Environment

## **Review History**

Version Date Author		Author	Description of Revision	
1 29/01/2024 Specialist – Environment & Sustainability		Specialist – Environment & Sustainability	Document created in new template	

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### **CBH RISK CRITERIA AND RISK RATING MATRIX**

Impact Area	1- Insignificant	2 - Minor	3 - Moderate	4 - Major	5- Catastrophic
Health and Safety – Injury or Illness	No medical treatment required. Negligible or no injury	Minor injuries / occupational illness / psychological injury requiring First Aid or Medical treatment	Serious injury / occupational illness / psychological injury requiring possible hospitalisation or permanent loss / significant effects	Life-threatening or multiple serious injuries or illnesses requiring hospitalisation and permanent effects	Death or multiple life- threatening injuries or illnesses
Environment	No effect on local environment No impact outside of site boundary No environmental breach	Minor environmental effect Minor release contained on site No environmental breach	Moderate environmental effects to localised area Moderate release contained within site boundary Environmental breach that would require reporting to an external body	Major environmental effects to localised area with offsite impacts Major release contained within site boundary Environmental breach that would require reporting to environmental or external body with likely investigation	Serious long- term effects to wide area and/or irreversible damage to environment Major release not contained within site boundary Breach likely to result in loss or impact on site operations and activities
Reputation	Minor local community / shire attention	Adverse attention from local media	Significant adverse local public or media attention	Significant adverse national public or media attention	Significant loss of international public or media attention or loss of grower/customer support.
Legal	Minor internal non-compliance	Minor legal issues and non- compliances	Internally detected breaches, reported to regulators	Serious breach of legislation with remediation notice	Suspension of licenses, prosecution and litigation
Financial	Under \$1m	\$1m - \$10m	\$10m-\$50m	\$50m-\$150m	Over \$150m
Continuity	1 hour	1 day	2-5 days	1-4 weeks	>4 weeks

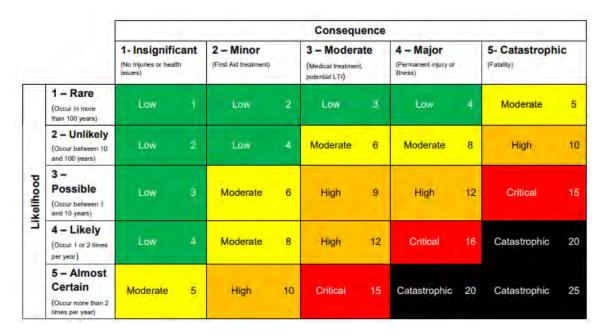
Table 7: Risk Impact / Consequence Rating

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Rating Frequency  1 Rare		Description	Frequency example
		The event may occur in exceptional circumstances	Occur in more than 100 years
2	Unlikely	The event could occur sometimes	Occur between 10 and 100 years
3	Possible	The event should occur sometimes	Occur between 1 and 10 years
4	Likely	The event will probably occur in most circumstances	Occur once or twice per year
5	Almost certain	The event is expected to occur in most circumstances	Occur more than twice per year

**Table 8: Likelihood Rating** 



**Table 9: CBH Risk Rating Matrix** 

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## **CORRIGIN DRAINAGE REPORT (M2922)**

EDG Doc. No. 10349400-21100-00002

Rev. B

Client Doc. No. 511-2922-DR-RPT-0002

	REV	REVISION STATUS	AUTHOR	CHECKED	APPROVED	DATE	TRACK CHANGES REQUIRED	SQUAD CHECK REQUIRED
>	Α	Issued for Review	S.Murphy			20/06/23		
	В	Issued for Use	S.Murphy			12/09/23		

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### 1. Introduction

CBH Group have engaged EDG under the Master Servicing Agreement for the Feasibility Study (FS) Design of the Corrigin Open Bulk Heads (OBH) 8 & 9. Design of OBH 8 & 9 has been prepared based on the Corrigin Pre-Feasibility Study, New M/S/W Alignment & Additional Storage and the Future Conceptual Layout No. 2 Revision C (511-ENG-CI-DCO-0011).

The FS Design includes the following key drainage elements:

- 1. CBH facility drains at two outlets to the northwest and to the southeast;
- 2. CBH facility is restricted to detain stormwater to match pre-development peak flow and volumes;
- 3. Development proposes to maintain peak discharge at pre-development rates by construction of basins with low level outlets off site.

The purpose of this report is to document the drainage and associated design constraints used for this FS Design.

The proposed expansion is to be located to the south of the existing facility and comprise the following:

- 4x OBH
- Upgrade of existing stormwater infrastructure to cater for the increased development.
- 1x Basin to the northwest
- 1x Basin to the southeast
- New marshal, sample, and weigh area.
- Associated access roads.

## 2. Scope of Work

This project has relied on the following documents in the design.

## 2.1. Project References

Document Title	Document No.	Rev	Date Received
Corrigin Pre Feasibility Study New M/S/W Alignment & Additional Storage Future Conceptual Layout No. 2	511-ENG-CI-DCO-0011	С	16/02/23
Munglinup Pre Feasibility Study 2022 Site Expansion – Stage 1 – Conceptual Layout – Option 5	618-ENG-CI-DCO-0018_A	С	22/11/22
WSP/Golder – Geotechnical Investigation, Corrigin Receival Facility, April 2023	511-2922-CI-RPT-0003	А	April 2023
TS10A_Design Spec Civil EW, Roads & Drainage	CBH-ENG-CI-SST-0001	3	13/01/2022
TS10B Construction Quality Specification - Civil Earthworks, Roads & Drainage	CBH-ENG-CI-SST-0002	5	14/12/2021
Civil Typical Drawings	S000-ENG-CI-STD-0001_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0002_4	4	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0003_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0004_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0005_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0006_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0007_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0008_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0009_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0010_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0011_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0012_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0013_2	2	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0014_0	0	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0015_0	0	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0016_0	0	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0017_0	0	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0018_1	1	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0019_0	0	August 2022
Civil Typical Drawings	S000-ENG-CI-STD-0020_0	0	August 2022

## 2.2. Existing Site Constraints

According to the Site Survey and Geotechnical Report, the Site has the following existing site constraints prior to the commencement of development:

- 1. Existing sealed access road connections to the north
- **2.** Existing drainage outlet to the northwest
- 3. Existing drainage outlet under the Corrigin South Road

- 4. Site falls both northwest and southeast. The site highest noted levels are R.L 317m in the south. The lowest recorded levels are R.L 308 to 309 in the southeast and below R.L 306 in the northwest.
- 5. Geotechnical Site is constrained by the following based on the Site survey and Geotechnical Report provided:
  - **a.** Site is overlaid by sandy material.
  - **b.** Rocky material is noted across the site of OBH 8 & 9 between surface rock and up to a depth of 1.7m.
  - **c.** Groundwater runs above the clayey material.
  - **d.** Gravel material is located at the centre of the Site but the actual extent is unknown. Areas of gravel could be located across the site but likely at the base of the potential ridge running north to south through the site.
- 6. Strata layers of Sand, Gravel and Rock material has been interpolated from the Geotechnical Report.

## 3. Stormwater Management Strategy

The Stormwater drainage management strategy is based on the following:

- Surface water runoff for the 5% Average Exceedance Probability (AEP) (20-year ARI)
- All surface water will be detained on-site up to the 5% AEP event within proposed detention basin(s), with a controlled outflow which is limited to the 5% AEP pre-development flows.
- Culverts have been designed based on catchments entering the culvert and not limited to pre/post development flows. Drainage Catchments are shown on the attached Catchment Plan.
- Designed to CBH TS10A Design Specification
- Drainage calculations have been completed in accordance with Australian Rainfall & Runoff (ARR).
- Pre-development and post development hydrology analysis has used the Rational Method to determine quantities/velocities and the Kinematic wave equation (for WA) to estimate the Time of Concentration (Tc).
- Intensity Frequency Duration (IFD) charts have been sourced from the Bureau of Meteorology for the site location and used to determine Rainfall volumes for each storm event. Data sourced within same month as this Report was prepared. IFD data has been presented within Table 1 below.

Table 1 – IFD Chart

Note – numbers are in mm total.

Annual Exceedance Probability (AEP)							
Duration	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	1.31	1.51	2.21	2.75	3.32	4.18	4.91
2 min	2.28	2.59	3.65	4.45	5.31	6.52	7.56
3 min	3.05	3.48	4.94	6.06	7.25	8.95	10.4
4 min	3.69	4.22	6.06	7.46	8.97	11.1	13.0
5 min	4.23	4.86	7.03	8.69	10.5	13.1	15.3
10 min	6.13	7.09	10.4	13.0	15.8	20.0	23.5
15 min	7.36	8.52	12.6	15.7	19.1	24.1	28.4
20 min	8.29	9.59	14.1	17.6	21.4	27.0	31.8
25 min	9.04	10.4	15.3	19.1	23.1	29.2	34.3
30 min	9.69	11.2	16.3	20.3	24.5	30.9	36.2
45 min	11.2	12.9	18.6	23.0	27.7	34.6	40.5
1 hour	12.4	14.2	20.3	25.0	30.0	37.3	43.6
1.5 hour	14.2	16.2	22.9	28.0	33.5	41.5	48.3
2 hour	15.7	17.8	25.0	30.4	36.3	44.8	52.1
3 hour	18.0	20.3	28.3	34.3	40.9	50.4	58.6
4.5 hour	20.5	23.1	32.1	38.9	46.3	57.3	66.7
6 hour	22.5	25.3	35.1	42.6	50.8	63.0	73.5
9 hour	25.4	28.6	39.8	48.5	58.0	72.4	84.7
12 hour	27.5	31.0	43.3	52.9	63.5	79.7	93.6
18 hour	30.5	34.4	48.4	59.4	71.6	90.5	107
24 hour	32.5	36.8	51.9	64.0	77.3	98.0	116
30 hour	34.1	38.6	54.5	67.3	81.4	103	123
36 hour	35.3	39.9	56.5	69.8	84.5	107	127

48 hour	37.1	42.0	59.4	73.3	88.7	113	134
72 hour	39.8	44.9	63.1	77.4	93.1	117	139

#### Note:

# The 50% AEP IFD does not correspond to the 2 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 1.44 ARI.

<sup>\*</sup> The 20% AEP IFD does not correspond to the 5 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 4.48 ARI.

## 4. OBH Design Parameters

The drainage at **Corrigin** has been design as follows:

- a. Design life of the OBH is minimum 15 years for pavement and 25 years for wearing course.
- b. OBH has been designed with grades between 1% and 3%. The preference is for 2%.
- c. The Top Water Level (TWL) has been designed with outlets at a level of 300mm from the top of the subgrade.
- d. Drainage have been designed to 5% Average Exceedance Probability (AEP) which is similar to the 1 in 20 year Average Recurrence Interval (ARI)
- e. Drainage Basins have been designed for detention of the 5% AEP at the peak volume with a low flow outlet.
- f. Coefficients of runoff have been used at 0.2 pre-development and 0.9 post-development.
- g. Spillway has been designed to protect infrastructure. The exact location of Spillways should be determined on site.
- h. V-Drains have been designed to a minimum 1:300 grade or 0.30% in accordance with CBH Standard OBH Technical Specification.
- i. V-Drains have been designed to match Peak Flow with Time of Concentration
- j. V-Drains have been designed with a maximum batter of 1 in 3 with minimum allowable water depth of 250mm.
- k. V-Drains have been designed with flow velocities below 2m/s.
- I. Key drainage points have been highlighted on the drainage Sketch within Appendix A.

#### Table 2 - Design Parameters

General Parameters	
Location	33.342° S, 117.868° E (Corrigin)
Design Life	15 Year pavement (25 Years waring Course)
ARR Runoff Coefficients	Vegetated Ground – 0.2
	Paved Surface & OBH – 0.9
OBH Grades	Longfall minimum 1%
OBH Grades	Crossfall 1% to 3%
Pavement Drain Grade	1% minimum
V-Drains	Min 0.3%

### 5. OBH Basins & Critical Design Path

### 5.1. Pre-Development Volumes and Peak Flow

Pre-development Catchment area has been shown with **Appendix A**; Pre-development catchment. This catchment has been assumed to be only the site and does not include any cross-catchment flows.

There are two locations where water is discharged from site, the northwest corner and the southeast corner.

Equivalent area is calculated for the whole site as follows:

Equivalent Area = Total Site Area x Coefficient of runoff

### 5.2. Rational Method (Volume)

Rational Method is used to determine the volume of water which would flow onto the site in their respective time durations. Rational Method is calculated as:

 $O = C \times I \times A$ 

Q = Total Volume (m3)

C = coefficient of runoff

I = rain fall intensity (mm)

A = Area (m2)

Rational Method (Equivalent Area Method)

 $Q = C \, x \, I \, x \, A_e$ 

Q = Total Volume (m3)

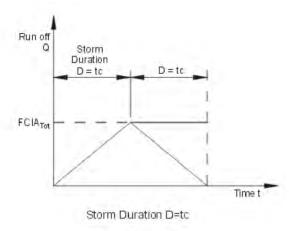
I = rain fall intensity (mm)

A<sub>e</sub> = Equivalent Area (m2)

Quantity of stormwater which rains onto the site during a peak hour event can be calculated for each time period noted by the Bureau of Meteorology (BOM).

### **5.3. Time of Concentration (Peak)**

Time of Concentration (Tc) is used to determine the time it takes to reach peak flow. Calculations for peak flow made before the Tc under calculate the peak, as water is still travelling to the outlet. Calculations for peak flow made after the Tc under calculate the peak, as the rain event has finished and flows are reducing. A generalised hydrograph representing this peak in concentration is shown in Figure 3.1.



A<sub>Tot</sub> = Total Catchment Area

Figure 3.1 Generalised Hydrographs for the Rational Method

Design IFD curves always show decreasing design intensities for increasing storm duration for a given average recurrence interval. In designing stormwater systems, selection of storm durations longer than the Tc of the catchment will always lead to lower peak discharges than storms of duration equal to Tc.

In Western Australia, Tc is calculated using the below formula and assumes flow is over plane surfaces which are homogenous in slope and roughness.

#### **Time of Concentration**

$$T_c = \frac{6.94((L \times n)^{0.6})}{(I^{0.4} \times S^{0.3})}$$

Tc = Time taken for water to flow from furthest point

L = Flow Path length (m)

n = surface roughness coefficient (0.22).

I = rainfall intensity (mm/hr)

S = slope (m/m)

### 5.4. Pre Development Peak Flow

Pre-Development Peak Flow is calculated by taking the Tc and selecting the appropriate intensity for this time and the duration from table above. Peak flow is then calculated by multiplying the volume with the time.

Note – higher accuracy can be achieved by interpolation of intensity between time intervals. This is not exact as intensity is not reducing linearly.

**Peak Flow** 

Peak Flow = Volumes / Time

Please note that due to the nature of the proposed development, the site stormwater would now be concentrated. This means that pre-development stormwater would be spread over a wide land area. Post development is proposed to concentrate the flow at one or multiple locations. Concentrating the outflow would likely cause downstream issues such as scouring or localised flooding. It is important that CBH investigated downstream before constructing the outflow. Investigation could simply be a site inspection by the supervisor and confirm nothing critical could be affected by the proposed post development discharge.

Table 3 - Outlet Sizes

Pre-development Flows								
(Refer Appendix A for Outlet Locations)	Pre-development Area	Equivalent Area	20y Intensity	Pre-development Flow (I/s)	Volume Storage Required (m3)			
Outlet 1								
(South Basin)	54,547	10,909.40	23.1	252	447			
Outlet 10								
(North Basin)	257,173	51,434.60	23.1	1,188	1224			

### 5.5. Post Development Volumes and Peak Flow

Development is proposing to construct additional pavement and impervious surfaces. These surfaces will generate more runoff than pre-development. It is proposed to manage this additional volume by delaying the discharge of water off site through the construction of basins. There is no method to process the water on the site as the underlying material is rock or low permeable material. Therefore, this additional volume will be released from site at a rate not exceeding the pre-development peak flow calculated in Section 5.4.

Approximation of low flow can be calculated by simply combining all flows onto the site as In-Flow then deducting all Out-Flow from the Site.

- In-Flow this is the volume of water that would store on site if there was a large basin.
- Out-Flow this is the volume of water that would flow off site over the time interval.

### 5.6. Post Development - Equivalent Area

EDG have prepared a catchment plan which shows the different catchment areas that result from the site been developed. A Post Development catchment plan is located within **Appendix A.** 

Table 4 - Catchment Areas

Catchment	Equivalent Catchment Area (m2)
Catchment A (Light Green)	37,739
Catchment B (Orange)	3,241
Catchment C (Pink)	20,637
Catchment D (Yellow)	11,605
Catchment E (Light Blue)	10,390
Catchment F (Green)	6,843
Catchment G (Purple)	89,496
TOTAL EQUIVALENT AREA	179,951m2*

<sup>\*</sup> Area calculated has used coefficients 0.2 for Grass & 0.9 for Pavement.

## **5.7. Post Development Calculations**

Post Development Calculations have been provided within Appendix B.

Drainage design has been based on:

1. Reducing the Post Development peak flow to no greater than the Pre-Development peak. This is achieved by providing a low flow outlet and detaining stormwater on site. Restricting flow off the site reduces the peak flow by extending the time of discharge for each storm event.

- 2. Detaining water on site for as long as practical which increases infiltration and processing. Processing reduces overall volume which flows off site. Assuming no infiltration is a conservative approach.
- 3. Infiltration was not considered as testing results were not included within the Geotechnical Report.

There are multiple drainage basins which are used to detain and delay runoff from site. These basins are:

- **Basin A** This is the main basin in the northwest corner of the site. This Basin outlet is to the north via a proposed DN900 low flow outlet. Basin A processes majority of the site water with a total volume required 1,224m3.
- **Basin B** This basin is proposed for construction to the southeast of the proposed new 4 x OBH. This basin outlet proposed to match the existing DN300 local government stormwater pipe across Corrigin South Road.

Table 5 - Detention Basin Parameters

Detention Basin A* (North West)	
Design ARI Event	5% AEP (~ 1 in 20 year)
Catchment Area	51,434 m2 - Pre Development – Equivalent Area 142,212 m2 - Post Development – Equivalent Area
Design Volume – Required (1:20-year)	Total Storage –1,224m3
Low Flow Outlet Level	R.L 306.60
Spill Way Height	No Spill Way
Max side slope	1:V to 3:H (1:3)
Top Water level (TWL)	307.20
Outlet Control	Low Flow outlet (DN900mm)
Max Pump Out Rate	Not Required.

<sup>\*</sup> Refer to Appendix A for location.

Detention Basin B* (South East)	
Design ARI Event	5% AEP (~ 1 in 20 year)
Catchment Area	10,909 m2 - Pre Development – Equivalent Area 37,739 m2 - Post Development – Equivalent Area
Design Volume – Required (1:20-year)	447m3
Low Flow Outlet Level	R.L 308.5m
Max side slope	1:V to 3:H (1:3)
Top Water level (TWL)	R.L 309.6
Outlet Control	Low Flow outlet (DN300mm)
Max Pump Out Rate	Not Required.

<sup>\*</sup> Refer to Appendix A for location.

### 6. Culvert(s)

There are 10 locations for culverts on this site that are critical to this stage of development.

Locations for Culverts are shown on Appendix A. Design Parameters for each culvert is shown within Appendix B.

Designed Culvert Sizes are shown within **Table 6** below.

Table 6 - Culvert Design Sizes

Culvert	Culvert Size (mm)	Outlet Size Restricted (existing)
Culvert 1	300	Minimum Size
Culvert 2	300	
Culvert 3	375	Minimum Size
Culvert 4	300	
Culvert 5	450	
Culvert 6	600	
Culvert 7	375	Grade 1/150
Culvert 8	675	Grade 1/150
Culvert 9	675	Outlet Size Restricted - Grade 1/130
Culvert 10	900	Comments

<sup>\*</sup> Refer to **Appendix A** for location.

### 7. V-Drains

V-Drains or Open Channels have been designed to collect and convey surface runoff generated from the Access Roads, Trap Roads, DOG Roads and OBH. V-Drains have been designed to a minimum depth of 500mm or 250mm water depth. No scour protection has been provided (other than spillway). V-Drains have been designed at flow velocities less than 2m/s and in a way not to require scour protection. However, maintenance will be required after significant storm events.

Headwalls and Cut-outs will required scour protection.

### 8. Conclusion

The stormwater drainage system has been designed in accordance with the requirements of TS10A Road and Drainage Specification and ARR.

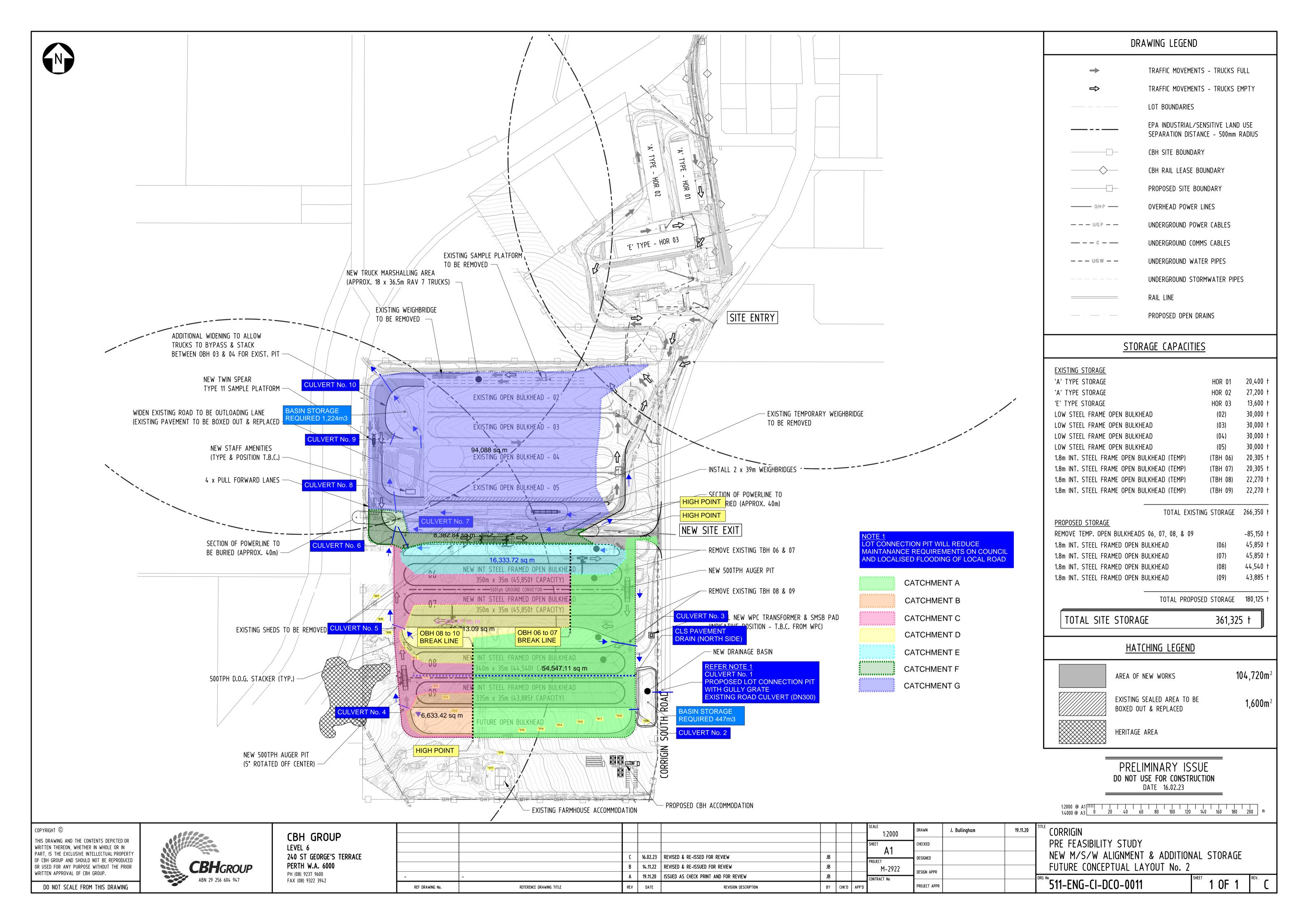
The proposed OBH design has no exceedances to these standards. TWL of basins are only max levels which will reduce over time when the basins drain.

Basin Storage volumes required are:

- Basin A size 1,224m3 (northwest)
- Basin B size 447m3 (southeast)

Culverts have been design assuming V-Drains are free draining. Pooling water within V-Drains may affect culvert performance. V-Drains should be maintained and blockages removed.

## 9. Appendix A – Drainage Catchment Plan



## **10. Appendix B – Post Development Drainage Calculations**

Culverts	Catchments	Pavement Area	Non-Pavement Area	Equivalent Area	Critical Path Length	Slope	Tc (min)	Peak Flow (l/s)	Culvert Size	Comments
Culvert 1	A	38,328	16,219	37,739	324	0.01852	17.5	672	300	Outlet Size Restricted (existing)
Culvert 2	Part of A	1,385	5,865	2,420	270	0.01667	9.5	63	300	Minimum Size
Culvert 3	Part of A	6,462	10,354	7,887	240	0.01667	10.5	207	375	
Culvert 4	В	2,735	3,898	3,241	120	0.01250	8	85	300	Minimum Size
Culvert 5	D	11,803	4,910	11,605	240	0.02083	12	305	450	
Culvert 6	B + C + D	37,468	8,808	35,483	420	0.02024	20	632	600	
Culvert 7	E	10,176	6,157	10,390	385	0.01948	18	185	375	
Culvert 8	B + C + D + E + F	55,025	15,966	52,716	470	0.02191	21	939	675	Grade 1/150
Culvert 9	B + C + D + E + F+ Part G	58,449	18,243	56,253	575	0.01965	24	867	675	Grade 1/150
Culvert 10	B + C + D + E + F + G	129,682	127,491	142,212	660	0.01742	26	2194	900	Outlet Size Restricted - Grade 1/130

Predevelopment Flows	Predevelopment Area	Equivalent Area	20y Intensity	Predevelopment Flow (I/s)	Volume Storage Required (m3)
Outlet 1	54,547	10,909.40	23.1	252	447
Outlet 10	257,173	51,434.60	23.1	1,188	1224



Project: | Corrigin Expansion

**Transport Impact Statement** 

Client: CBH

Author: N. Baby

Date: 4th October 2023

Doc No: | 2302009-TIS-001

Revision: D

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## 1. Introduction

#### 1.1. The Project

CBH has commenced planning for a permanent expansion to their existing Corrigin permanent storage site. The site expansion is proposed to include the following:

- New truck marshalling area within existing sample hut area (existing permanent weighbridge and sample platform to be removed)
- New sample twin spear Type 11 sample platform
- Existing temporary weighbridge to be removed and replaced with 2x39m weighbridges in new locations
- Removal of existing temporary bulkheads TBH 06,07,08, & 09.
- 4 x new OBHs (06, 07, 08 & 09)
- Two new 500tPa auger pits
- New staff amenities
- New site exit
- New access roads, road pavement widenings, drainage improvements and basins required to support the above-mentioned expansion

Shawmac has been engaged by CBH to prepare a Transport Impact Statement for the site expansion.

#### 1.2. Background

The existing grain facility is located on the west side of Corrigin South Road / Walton Street with one crossover off Corrigin South Road / Walton Street (Note: Walton Street is recorded as Corrigin South Road in the Main Roads WA Road Information Mapping System and therefore in this report "Corrigin South Road" is referred to as the full length of road south of the Kunjin Road / Walton Street intersection).

Refer to **Figure 1** for the project location and proposed route. Aerial views of the proposed site expansion and the existing CBH site are shown in **Figure 2**.

Refer to **Appendix A – CBH Concept Plan** for further details of the site layout and storage upgrade.





Figure 1: Project Location





Figure 2: Aerial View – Proposed Site Expansion



## 2. Existing Situation

## 2.1. Road Network

The layout and hierarchy of the existing local road network according to the Main Roads WA *Road Information Mapping System* is shown in **Figure 3**.



Figure 3: Adjacent Road Network

## 2.2. Carriageway Width and Cross Section

The configuration of the relevant roads is summarised in **Table 1**.

**Table 1: Road Configuration** 

Road and Location	Road Type	Cross Section	Sealed Pavement Width (Approx.)	Carriageway Width (Approx.)
Corrigin South Road	Local Distributor	2 lane single carriageway	6.5m-10.0m Near Site Access	8.5m-15.0m Near Site Access



#### 2.3. Traffic Volumes

Traffic data for Corrigin South Road is not available, however the Shire of Corrigin had been previously contacted (for the purpose of the previous Shawmac traffic assessment), and the Shire advised that a conservative estimate of daily traffic on this road is 100-120 vehicles per day. For the purpose of this assessment, the following has been assumed:

- Peak hour traffic is equivalent to 20% of estimated daily volume,
- Peak hour distribution is 50% northbound and 50% southbound, and
- As a worst-case scenario, and considered overlay conservative, the advised daily volume is assumed
  to represent traffic conditions outside of harvest operation when there are no trucks delivering materials
  to the CBH site (i.e., it does not include any CBH traffic).

The assumed traffic data for Corrigin South Road are summarised in Table 2 and Table 3.

**Table 2: Daily Traffic Volumes** 

Road / Direction	Location	Daily	% HV	Data Source
Corrigin South Road – Northbound	N/A	60	N/A	Assumed
Corrigin South Road – Southbound	N/A	60	N/A	Assumed

**Table 3: Peak Hour Traffic Volumes** 

Road / Direction	Location	Peak Hour	Data Source
Corrigin South Road – Northbound	N/A	12	Assumed
Corrigin South Road – Southbound	N/A	12	Assumed



#### 2.4. RAV Status

As per MRWA HVS network mapping tool:

- Corrigin South Road from Walton Street & Kunjin Street intersection to CBH Site Access is categorised under Tandem Drive RAV 7.3 and Tri Drive 1.3 with the following condition(s):
  - Not to be used as a through route.
  - For local delivery, pickup and garaging only.
  - Driver must carry documentation as proof of local delivery, pickup or garaging address.
- Corrigin South Road south of the CBH Site Access is categorised under Tandem Drive RAV 7.1 and
   Tri Drive 1.1 with the following condition(s):
  - All operators must carry current written approval from the road asset owner permitting use of the road.
  - Headlights to be always switched on.

Figure 4 and Figure 5 shows the RAV network for the road network in the vicinity of the sites.

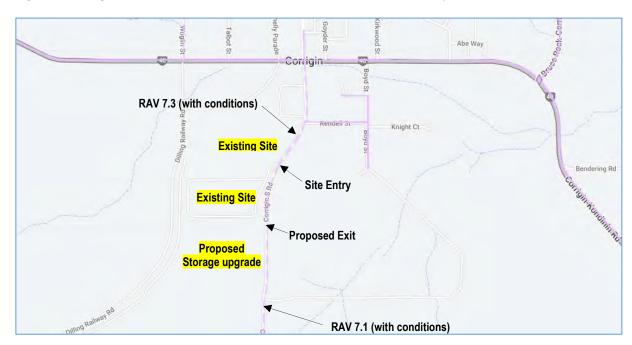


Figure 4: Tandem Drive RAV7 Network





Figure 5 : Tri Drive 1 Concessional Network



## 2.5. Speed Limit

As per Main Roads WA *Road Information Mapping System*, the existing crossover is within the 60km/hr speed zone and the speed zone immediately south of the site access is 90km/hr. The speed sign is located approximately 50m south of the site access.

The speed limit of the adjacent road network is shown below in Figure 6.

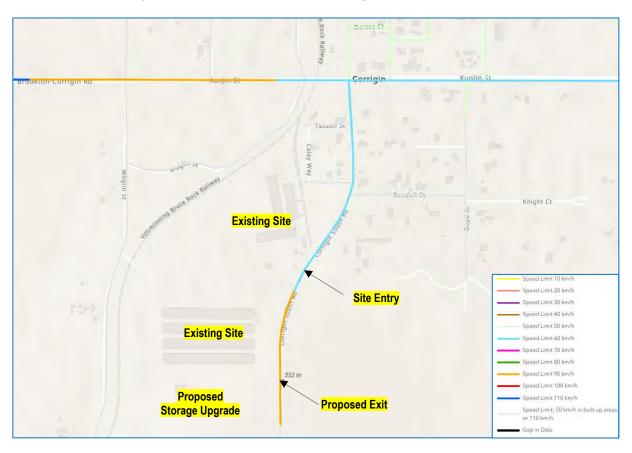


Figure 6: Speed Zoning



## 2.6. Crash History

Crash data for Corrigin South Road from SLK 0.01 (South of Walton Street & Kunjin Street intersection) to SLK 0.87 (approx. 200m south of the existing access) was sourced from MRWA Crash Analysis Reporting System (CARS) for the 5-year period ending 31/12/2022. The report is summarised in **Table 4**.

Table 4: Crash History

Location	Number of Crashes	MR Nature and Location	Severity
Corrigin South Road SLK 0.01 – 0.87	0	N/A	N/A

As shown, there have been no crashes recorded.



## 3. Transport Logistics

#### 3.1. Current CBH Traffic Data

CBH have provided the following traffic data associated with the current state of the Corrigin Receival site:

- Peak season receivals (from local growers) 268,189t
- Average carryover (grain remaining from previous harvest) 18,173t
- Total site task 286,362t
- Available capacity after storage upgrade 327,325t
- Available capacity without expansion 147,200t.
- Average in-loading truck payload 52t

#### 3.2. Proposed Development

The proposed development is to increase the grain storage capacity at CBH's Grain Receival site at Corrigin. The existing nameplate storage capacity is 147,200t and the future capacity will be 327,325t after the storage expansion.

If local production exceeds the capacity of the Corrigin receival site, CBH must out-turn grain simultaneously (Harvest Essential Moves) to continue to offer a service to growers, and by doing so, increase the traffic on surrounding roads during the peak harvest period. The proposed storage expansion will enable CBH to reduce the volume of Harvest Essential Moves (HEMs) with the intention of reducing trucks on road during the harvest, and instead holding the grain on site to out-turn over the remaining 9 months of the year when the road network is less busy.

When the OBHs have been constructed as part of the expansion, the distribution of CBH traffic remains unchanged as the receival task is driven by local production regardless of the outcome of the development.

The site plan of the proposed bulkheads is attached in **Appendix A – CBH Concept Plan**.

**Table 5** provides a comparison between the record harvest peak truck movements, which would be required with and without the construction of the OBH storage as proposed by CBH. As shown, if the storage expansion does not occur, then an additional 2,319 truck movements (52 trucks per day) would be required during the harvest period.



	Unit of Measurement	Before Expansion <sup>(2)</sup>	After Expansion (2)
Record Site Task <sup>1</sup>	Tonnes	286,362	286,362
Available Site Capacity	Tonnes	147,200	327,325
Harvest Essential Moves (HEMs)	Tonnes	139,162	-
HEMs Per Harvest	Trucks	2,319	-
HEMs Per Day	Trucks	52	-

**Table 5: Historical Record Harvest Truck Movements** 

## 3.3. Changes to Surrounding Transport Networks

There are no known changes to the adjacent network that have the potential to affect the assessment.

#### 3.4. Proposed Haulage Vehicle

It is proposed to continue the use RAV 7 trucks up to 36.5m long for haulage of grains. Refer **Figure 7** for typical configurations of the RAV 7 vehicles. In addition, CBH also noted that while this site is rated for RAV7, smaller RAV vehicles are also used.

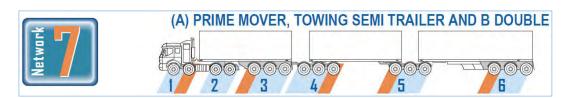


Figure 7: Typical Tandem Drive RAV 7 Trucks

## 3.5. Receival Period and Operating Hours

CBH have indicated that on average the harvest receival period will last approximately three months, generally October through to December. During this period, it is known that delivery patterns peak for around 45 days with 80% of the crop delivered in this time. Generally, receival sites will operate 7 days a week for 12 hours a day during the harvest period.

## 3.6. Haulage Route and Truck Movements – Harvest Period

As per the current traffic data provided by CBH, directional movement for the harvest receivals (from local growers / shown as orange) and out loading (shown as red) is shown in **Figure 8**. For clarity, only arrows showing direction from origin are shown. It is assumed that following in-loading, grower trucks will return to the same origin point.

<sup>1)</sup> For the purposes of this assessment the record site task has been adopted and therefore should not be interpreted as the average.

<sup>2)</sup> Figures may not sum due to rounding.





Figure 8 : CBH Directional Split

As noted in **Section 3.5**, the grains are not received consistently throughout the harvest period and data from CBH suggest that generally 80% of grain is received within 45 days.

For the purposes of assessing the peak period impacts, the following assumptions have been made:

- 80% of total grain tonnes are received within, and evenly distributed over 45 days.
- Truck deliveries occur over a 12-hour period, and 10% of all daily volumes are received within a peak hour.
- All HEMs occur during the 45-day peak period.

Based on the existing peak season receival of 268,189t, the site will generate:

- 5157 truck movements during the harvest.
- 4,126 truck movements during the 45-day peak period.



- 92 movements per day during the 45-day peak. (78 from North of Site access, 14 from South of Site access).
- 9 movements during a peak hour of the 45-day peak. (8 from North of Site access, 1 from South of Site access).

Figure 9 and Figure 10 show the existing and future (after expansion) traffic generation for the harvest period, respectively.

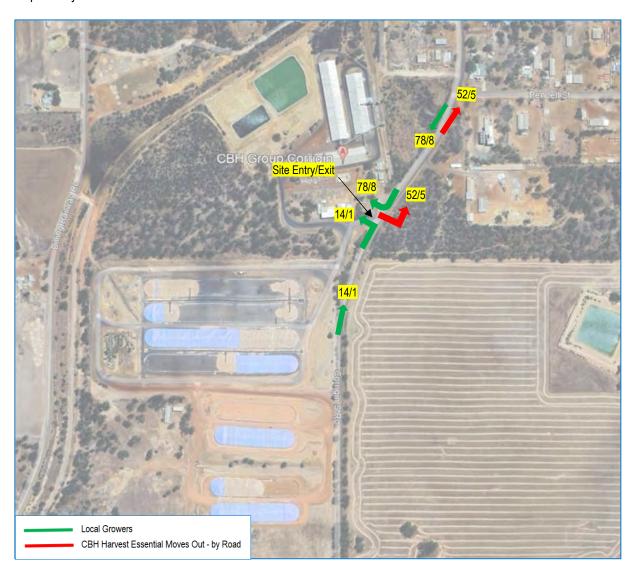


Figure 9: Existing Traffic Distribution (Daily Volume/Peak Hour Volume)



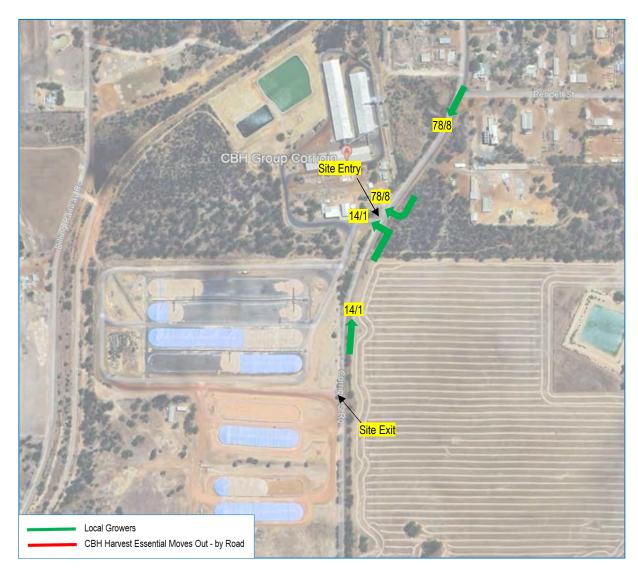


Figure 10: Proposed Traffic Distribution (Daily Volume/Peak Hour Volume)

As shown, the proposed storage expansion will remove 52 HEMs per day (2,319 total) during the peak harvest period.



#### 3.7. Out of Harvest Period

Outside of the harvest period, out-loading movements are proposed to move grain from the existing site to Port or to a rail site closer to Port.

**Table 6** provides a comparison between the out of harvest truck movements, which would be required with and without the construction of the OBH storage as proposed by CBH.

**Table 6: Out of Harvest Truck Movements** 

	Unit of Measurement	Before Expansion (1)	After Expansion (1)
Total Out loading Task	Tonnes	147,200	268,189
Days to out-load site on road	Days	74	134
Trucks Per Day	Trucks	33	33

<sup>1)</sup> Figures may not sum due to rounding.

The out-loading task will be performed over the remaining 9 months of the year. Whilst the out-loading task increases proportionate to the level of reduced HEMs with the proposed expansion, the same volume of grain is out-turned outside of the peak traffic period and at lower traffic intensity. It is noted that the additional capacity on site does not necessarily increase traffic intensity or trucks per day with the daily out-loading capacity assumption ~2,000t/day. Instead, by holding grain during harvest, the same intensity of out-loading (33 trucks per day) continues during the less busy non harvest months for an additional 60 days than if the expansion was not built.

The estimated out of harvest period out-loading movements are approximately 33 movements a day (with or without the expansion), which is considerably less than the peak harvest period traffic generation. As a result, the out of harvest period out-loading movements will have significantly less impact to the road network than the peak harvest period traffic generation.



## 4. Traffic Impact Assessment

#### 4.1. Assessment Years

The development is assessed based on 2023 network condition.

## 4.2. Impact on Roads

#### 4.2.1. Traffic Volumes

According to the WAPC *Transport Impact Assessment Guidelines*, an increase below 10 peak hour vehicles is considered to have a low impact and is generally deemed acceptable without requiring detailed capacity analysis. As the proposed development will result in a net decrease in peak hour vehicle during harvest period, the development has a positive impact on the surrounding road network during the peak traffic period. Noting the net reduction from the proposed expansion, this TIS is considered the appropriate level of analysis with reference to the guidelines.

It is also noted that during the remainder of the year (remaining 9 months), the site will generate a much lower volume of traffic compared to the harvest period and if the proposed development did not occur.

#### 4.2.2. Road Minimum Widths

The sealed widths of the surrounding roads were checked against the Rural Road Minimum Width in accordance with Appendix A of the MRWA RAV assessment guideline. The comparison is shown below in **Table 7**.

Table 7: Rural Road Minimum Width

Road	Location	AADT						Existing/	
		Existing No CBH	Existing With CBH (Receival Volume)	With Storage Upgrade	Speed (RAV)	RAV Status	Existing/ Required Minimum Seal	Required Carriageway width (m)	
Corrigin South Road	North of Site access	120	250	198	60	RAV 7	6.0-10.0 m / 5.7 m	8.5-15.0 m / 7.7 m	
	South of Site access	120	186	134	90	(conditio ns)	6.0-6.5 m / 3.4 m	8.5-10.0 m / 7.7 m	

Notes: \*Sealed width or Carriageway width if it is unsealed.

As per the above, the existing road sealed widths comply with the minimum requirements.



#### 4.2.3. Road Safety

The crash history of the adjacent road network (as previously outlined in **Section 2.6**) does not suggest any particular safety issues (there have been no crashes recorded) on the existing road network. As there are no additional traffic movements generated by the additional storage, and ultimately a reduction in peak harvest volumes due to reduction in HEMs, it is considered that the expansion would have a positive effect on road safety.

#### 4.3. Site Accesses

#### 4.3.1. Safe Intersection Sight Distance

The Safe Intersection Sight Distance (SISD) is the minimum distance which should be provided on the major road at any intersection. SISD provides sufficient distance for a driver of a vehicle on the major road to observe a vehicle on a minor road approach moving into a collision situation (e.g., in the worst case, stalling across the traffic lanes) and to decelerate to a stop before reaching the collision point.

The SISD is assessed based on the following parameters:

- An observation time of 3 seconds as per Austroads Part 3;
- A reaction time of 2.5 seconds;
- Deceleration coefficients for the purpose of SISD calculations are 0.36 for light vehicles and 0.28 for heavy vehicles (Road Train Type 1 / RAV 7 equivalent);
- Driver eye height is 2.4m for trucks and 1.1m for cars;
- Object height of 1.25m; and
- Sight distance offset 3-5m from edge of proposed holding line.

A comparison of available and required SISD are summarised in Table 8.

**Table 8: SISD Calculations** 

Location	Vehicle Type	Design Speed (km/h) (NB / SB)	Coefficient of Deceleration	Decision Time (s)	Longitudinal Grade (NB / SB)*	Required SISD for NB / SB Traffic (m)	Available SISD (m) NB SB	
Site Exit	Trucks	90 / 90	0.28	3.0+2.5	2.5% / 2.5%	242 / 242	+260	+260
	Cars	100 / 100	0.36	3.0+2.5	2.5% / 2.5%	255 / 255	+260	+260

<sup>\*</sup>Positive for through traffic travelling uphill and negative for through traffic travelling downhill. Grades are conservative estimates based on google earth and site visit photo/video footage.

As shown in **Figure 11** the SISD is sufficient to achieve the minimum requirement in accordance with the Austroads Guide to Road Design Part 4A. However, it is noted that the sight lines are adjacent to vegetation. It is understood that the Shire (as road owner) and CBH (as the intersection user) have previously inspected the

site and considered the sight lines to be acceptable to and from the proposed intersection location.

If the vegetation becomes overgrown, this may impact sight distance. CBH have advised that if this occur, they



will work collaboratively with the Shire to ensure appropriate sight lines are maintained at all times.

The line-of-sight photos at the proposed exit are shown in Figure 12 and Figure 13.



Figure 11: Sight distance check - New Site Exit





Figure 12: New Site Exit Looking North



Figure 13: New Site Exit Looking South

As the existing access will be used for entry movements only, sight distance has not been assessed in this location.



#### 4.3.2. Intersection Volumes

For the purposes of assessing the warrants for auxiliary lanes, the peak hour volumes at the site access after storage upgrades are shown in **Figure 14**.

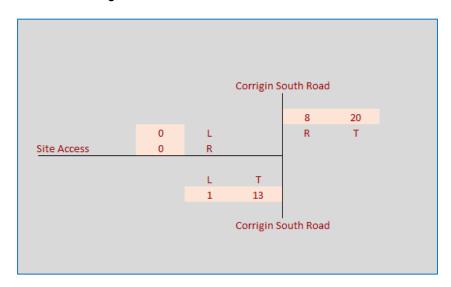


Figure 14: Intersection Volumes - Background

## 4.3.3. Auxiliary Lanes

The requirement for turning treatments was calculated using the Intersection Warrants calculator provided in Main Roads WA Supplement to Austroads Guide to Road Design - Part 4 A.8. The results of the assessment are shown in **Figure 15**.

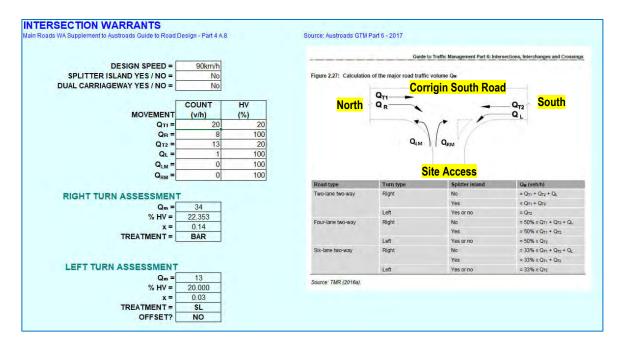


Figure 15: Warrants for Turn Treatments on Major Roads at Unsignalized Intersections - Site Access



As shown, the required left-turn and right turn treatments at site access are Simple Left Turn (SL) and Basic Right Turn (BAR) treatment. A BAR turn treatment features a widened shoulder on the major road to allow through vehicles, having slowed, to pass to the left of turning vehicles. In this instance, considering the access is accommodating RAV 7 trucks turning into the site (access only), and therefore not typically holding within the major road due to interactions with vehicles requiring to exiting the site, no further widening is recommended.

#### 4.3.4. Acceleration Lanes

The RAV guidelines provide the following advice with regards to acceleration lanes:

To assist in ensuring network performance levels are maintained, the assessor needs to identify if the acceleration lanes and turn pockets are present at intersections and the length of these treatments. Capturing this information in the assessment will assist in determining if network improvements are necessary, in consultation with the road manager.

Austroads Guide to Road Design Part 4 (AGRD04) notes that:

There are no simple numerical warrants for the provision of acceleration lanes. However, an auxiliary lane may be added on the departure side of a left turn or right turn if traffic is unable to join safely and/or efficiently with the adjacent through traffic flow by selecting a gap in the traffic stream.

Acceleration lanes may be provided at major intersections depending on traffic analysis. However, they are usually provided only where:

- insufficient gaps exist for vehicles to enter a traffic stream.
- turning volumes are high (e.g., > 300 vehicles per hour).
- the observation angle falls below the requirements of the minimum gap sight distance model (for example, inside of horizontal curves).
- heavy vehicles pulling into the traffic stream would cause excessive slowing of major road vehicles.

Acceleration lanes at the proposed exit are not considered warranted due to the following:

- The vast majority of truck movements (>90%) leaving the site will be northbound. In this direction, the speed limit soon reduces to 60km/hr, which would make any acceleration lane redundant.
- Existing traffic volumes along Corrigin South Road are considered low (based on the advice received from the Shire, 120 vehicles per day / 12 vehicles per hour is a conservative estimate of existing traffic on this road);
- The volume of loaded RAV vehicles turning out from the site exit will be low;
- Observation angle is acceptable at the proposed exit;
- During the harvest period, the majority of RAV vehicles turning out from the site access will be unloaded and therefore can accelerate quicker to less likely frustrate vehicles behind them; and



• The site is currently in operation and as per **Section 2.6**, there have been no crashes recorded over the past 5 years in the vicinity of the site.

## 4.3.5. Swept Path Assessment

A swept path analysis was completed to determine if the existing site access, new site exit and intersection geometry are sufficient to accommodate the proposed RAV vehicle movements. The analysis has been undertaken in Autodesk Vehicle Tracking using the Main Roads WA vehicle template for RAV5-7 vehicles and the latest available aerial imagery as a base.

The swept path diagrams are shown from Figure 16 to Figure 19.



Figure 16: RAV 7 Inbound Movement from the South





Figure 17: RAV 7 Inbound Movement from the North



Figure 18: RAV 7 Exit Towards the North





Figure 19: RAV 7 Exit Towards the South

At the existing access, the designated (non-lane-correct) RAV 7 movements can be completed with minor impact to the unsealed road shoulder for inbound movement from the south and is considered to be acceptable based on the following considerations:

- The volume of trucks turning into and out of the site to/from the south is low;
- The turning paths have utilised MRWA standard radii (20m for RAV 5-7). These can be quite conservative;
- The movement to and from the south are already made on site, no significant damage has been identified from the Road Safety Audits; and
- As noted in Section 3.4, trucks originating from the south could potentially be vehicles smaller than RAV 7 vehicle, and thus the impact to the road shoulder would be further reduced. A secondary check using 27.5m RAV 2-4 vehicle indicates there is minimal impact to the road shoulder (refer Figure 20).





Figure 20: RAV 2-4 Inbound Movement from the South

At the proposed new exit, some vegetation will need to be cleared and the pavement constructed to accommodate the demonstrated turning movement.



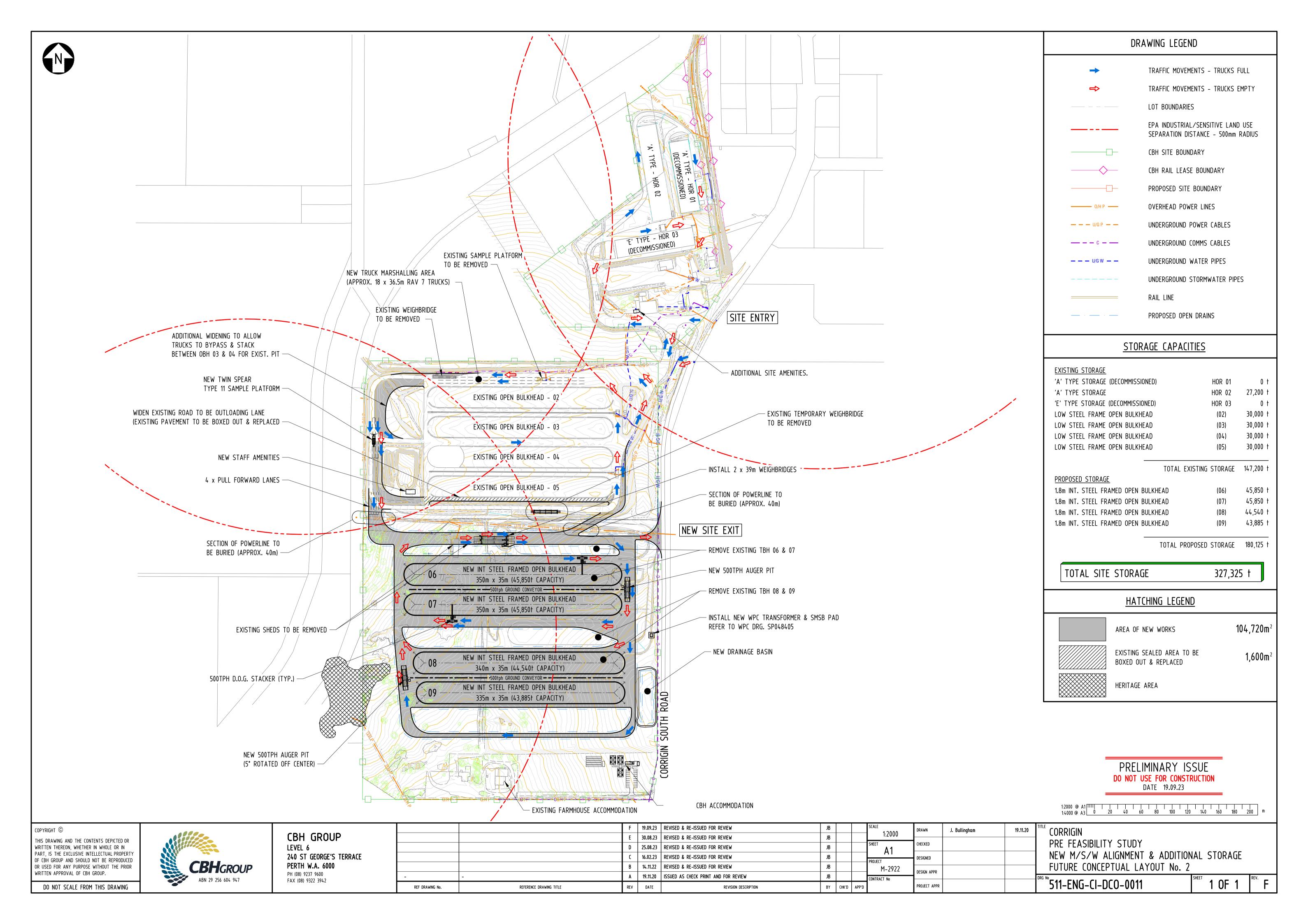
## 5. Conclusions

This Transport Impact Statement has been prepared for the proposed site expansion located at the south of existing CBH Corrigin Site and has concluded the following:

- The proposed development will result in a reduction of HEMs which will result in less trucks on the road during the harvest period, therefore the development has a positive impact on the surrounding road network during the peak traffic period.
- The existing sealed and carriageway widths of the surrounding road are above the minimum road width for their relative RAV categories.
- As there are no additional traffic movements generated by the additional storage, and ultimately a
  reduction in peak harvest volumes due to reduction in HEMs, it is considered that the expansion would
  have a positive effect on road safety. Outside of the harvest period, out loading movements are proposed
  to move grain from the existing site to port or other CBH sites closer to the Port.
- There is sufficient SISD towards both sides from the proposed site exit. If the vegetation becomes
  overgrown, this may impact sight distance. CBH have advised that if this occur, they will work
  collaboratively with the Shire to ensure appropriate sight lines are maintained at all times.
- The intersection warrant assessment for the existing site access only meets the warrants for Basic Right Turn treatment (BAR). In this instance, considering the access is accommodating RAV 7 trucks turning into the site (access only), and therefore not typically holding within the major road due to interactions with vehicles requiring to exiting the site, no further widening is recommended.
- Acceleration lanes at the proposed exit are not considered warranted.
- The swept path assessment for the designated RAV vehicle movements indicates that the designated movements can be completed satisfactorily.



## Appendix A – CBH Concept Plan





# **Technical Memorandum**

Subject: Corrigin Expansion - Transport Impact Statement - Shire/Council Comments Response

Date: 01/08/24

Author: J. Bridge Reviewer: R. Needham (25/07/24 version)

Client: CBH

## **Executive Summary**

CBH has advised that the Shire of Corrigin are currently assessing the development application for the expansion and that the Shire/Councillors have raised a number of concerns with the proposal and the TIS.

The purpose of this Technical Memorandum is to address the Shire comments and provide and/or amend any recommendations for the development.

In summary, the Shire/Council comments and the relevant responses as follows:

#### RAV Network:

- Shire Comment: RAV access from the south is RAV1 and RAV access from the north is limited to only trucks off Brookton Highway to have access to RAV 3 (very limited access)
- Response: As per MRWA HVS network mapping tool, Corrigin South Road and Brookton Highway are on the RAV 7 network.

#### Traffic Volumes:

- Shire Comment: Shire expects assumed average truck payloads to be lower than the specified 52 tonnes. Shire commented that 47 tonne or even as low as 41 tonne is more appropriate. The proposed development will increase the total tonnage delivered to the site.
- Response: CBH advise that the 52 tonnes average payload is accurate and is based on area level recorded/measured average payload receivals taken over time which allows for a combination of RAV 1 to RAV 7 vehicles. It is not anticipated that there will be an increase in grain receivals to the site. The extra storage allows for more grain to be stored on site without needing to out-turn grain during the peak harvest period when storage capacity become exhausted.

#### Road Width:

- Shire Comment: The existing sealed carriageway is insufficient to be able to carry vehicle
  movements north and south safely. Road is narrow and RAV 7 trucks may not be able to stay
  lane correct. Sweep path's will need to be monitored for both north and south bound traffic.
- Response: Based on the proposed daily traffic volume, the existing sealed and carriageway width of Corrigin South Road complies with the minimum widths required as per the MRWA



RAV Assessment Guideline with the exception of the existing seal through the horizontal curve/bend on Corrigin South Road.

#### Access Configuration:

- Shire Comment: Acceleration lanes or slip lanes will be required for safety, meeting the same standard as many large CBH sites across the state.
- Response: Detailed auxiliary lane and acceleration warrant assessment indicated that acceleration lanes or slip lanes are not considered warranted in this instance.

#### Minimum Sight Distances:

- Shire Comment: Traffic impact assessment is based on desktop assessment only and no site inspection was conducted and actual sight distances on site are constrained. Shire has commented that minimum sight distance for assessing an access on a road for a RAV route is 400m.
- Response: Site visit was previously undertaken and findings used to inform the assessment. Minimum Safe Intersection Sight Distance (SISD), Absolute Minimum Stopping Sight Distance (SSD and Entering Sight Distance (ESD) have all been achieved. It is considered that any minimum requirement for sight distance above the minimum SISD would be greater than industry practice/standard.



## 1. Background

### 1.1. Project History

CBH has commenced planning for a permanent expansion to their existing Corrigin storage site.

Shawmac was previously engaged by CBH to prepare a Transport Impact Statement (TIS) for the site expansion for Development Application approval (Shawmac Doc #: 2302009-TIS-001\_D / CBH Doc #: 511-2922-CI-RPT-0004\_B).

#### 1.2. Shire / Council Comments

CBH has advised that the Shire of Corrigin are currently assessing the development application for the expansion and that the Shire/Councillors have raised a number of concerns with the proposal and the TIS.

The Shire/Council comments are summarised as follows:

#### RAV Network:

 RAV access from the south is RAV1 and RAV access from the north is limited to only trucks off Brookton Highway to have access to RAV 3 (very limited access)

#### Traffic Volumes:

- Shire expects assumed average truck payloads to be lower than the specified 52 tonnes. Shire commented that 47 tonne or even as low as 41 tonne is more appropriate.
- o The proposed development will increase the total tonnage delivered to the site.

#### Road Width:

- The existing sealed carriageway is insufficient to be able to carry vehicle movements north and south safely.
- Road is narrow and RAV 7 trucks may not be able to stay lane correct. Additional pavement width may be required as per previous development application.
- Sweep path's will need to be monitored for both north and south bound traffic.

#### Access Configuration:

 Acceleration lanes or slip lanes will be required for safety, meeting the same standard as many large CBH sites across the state.

#### Minimum Sight Distances:

- Traffic impact assessment is based on desktop assessment only and no site inspection was conducted. Actual situation looks more dangerous than can be determined from desktop assessment.
- o Concern over intersecting RAV 7 trucks travelling in a northerly direction from Corrigin South



Road towards entry at 90km per hour not having enough time to stop if truck is exiting slowly from exit.

- Exit is located on a slight crest in 90km zone and sight distance from exit to south is limited and therefore inadequate stopping distance.
- Shire has commented that minimum sight distance for assessing an access on a road for a RAV route is 400m.

# 1.3. Purpose

The purpose of this Technical Memorandum is to address the Shire comments and provide and/or amend any recommendations for the development.



## 2. Responses

#### 2.1. Traffic Volumes

#### 2.1.1. RAV Network

The Shire has commented that the following is applicable to the existing RAV network for the adjacent roads:

- RAV access from the south is RAV1
- RAV access from the north is limited only to trucks off Brookton Highway to have access to RAV 3 (very limited access)
- All other trucks run under HMMS which is the level 1 equivalent

As per MRWA HVS network mapping tool (<a href="https://mrwebapps.mainroads.wa.gov.au/hvsnetworkmap">https://mrwebapps.mainroads.wa.gov.au/hvsnetworkmap</a>), the RAV network is as follows:

- Corrigin South Road from Walton Street & Kunjin Street intersection to CBH Site Access is categorised under Tandem Drive RAV 7.3 and Tri Drive 1.3 with the following condition(s):
  - Not to be used as a through route.
  - o For local delivery, pickup and garaging only.
  - o Driver must carry documentation as proof of local delivery, pickup or garaging address.
- Corrigin South Road south of the CBH Site Access is categorised under Tandem Drive RAV 7.1 and Tri Drive 1.1 with the following condition(s):
  - All operators must carry current written approval from the road asset owner permitting use of the road.
  - Headlights to be always switched on.
- Brookton Highway is categorised under Tandem Drive RAV 7.3 and Tri Drive 4.3 with no conditions.

Figure 1 and Figure 2 shows the RAV network for the road network in the vicinity of the sites.

As shown, the existing roads are on the appropriate required RAV network.



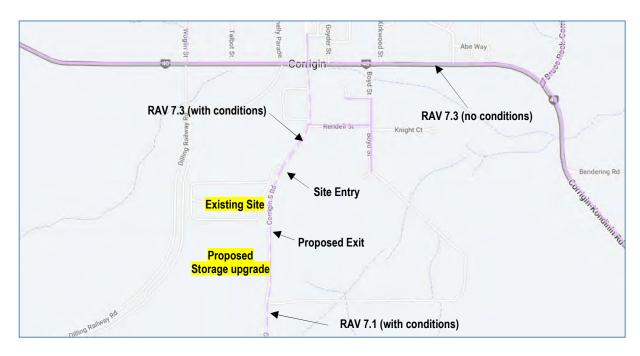


Figure 1: Tandem Drive RAV7 Network

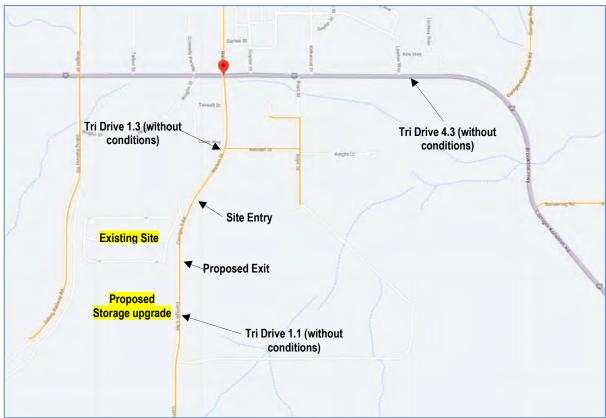


Figure 2 : Tri Drive Network



#### 2.1.2. Average Truck Payload

The Shire has commented that they expect the assumed average truck payloads to be lower than the specified 52 tonnes. Shire commented that 47 tonne or even as low as 41 tonne is more appropriate.

However, as the roads allow RAV 7 access, which can allow up to a maximum 107.5 tonne mass on the level 1 concessional level compared to the 84 tonnes for the RAV 3 (maximum Shire specified RAV), it is not unreasonable to expect an average payload of 52 tonnes.

CBH advise that the 52 tonnes average payload is accurate and is based on area level recorded/measured average payload receivals taken over time which allows for a combination of RAV 1 to RAV 7 vehicles.

Therefore, the 52 tonne average payload is considered to be an accurate representation of the actual haulage requirements.

It is also pertinent to note that (as commented further in **Section 2.1.3** below) it is not anticipated that there will be an increase in grain receivals to the site. The extra storage allows for more grain to be stored on site without needing to out-turn grain during the peak harvest period when storage capacity become exhausted.

Therefore, regardless of the assumed average payload tonnage, the proposed expansion will result in net positive traffic impact during the peak harvest period.

#### 2.1.3. Traffic Generation Impact

Based on the above, it is considered that the estimated average truck payloads (52 tonne) and the associated estimated traffic generation for the development in the TIS is reasonable and therefore no amendments to the estimated traffic generation are required.

It is also noted that the although the proposed development increases storage, it is not anticipating an increase in grain supply. The additional storage allows for capacity to be maintained throughout the harvest period and eliminates the need for Harvest Essential Moves (HEMs) that would otherwise be required to out load grain during the harvest period when storage capacity is exhausted. This is a net positive traffic impact as the total harvest period truck movements are reduced.

Instead of out-turning stored grain during the busy harvest period, the grain is out-turned over the remaining 9 months of the year at a lower intensity, when the road network is less busy.

Whilst the out-loading task outside of peak harvest increases equivalently to the reduction in HEMs after the expansion is completed, the same volume of grain is out-turned outside of the peak traffic period and at lower traffic intensity. It is also noted that the additional capacity on site does not increase traffic intensity or trucks per day, as the out-loading rate per day remains constant at 33 trucks per day, but additional time is needed to complete the



out-loading task. For the Corrigin expansion, the out-loading task is projected to increase by 60-days compared to the existing situation.

#### 2.2. Road Width

The Shire has commented that the sealed carriageway is insufficient to be able to carry vehicle movements north and south safely and that the narrow road and RAV 7 trucks may not be able to stay lane correct.

The sealed widths of the surrounding roads have been checked against the Rural Road Minimum Width in accordance with Appendix A of the MRWA RAV Assessment Guideline (refer **Figure 3** for extract) based on the combined estimated CBH traffic generation and public traffic.

	60 to 70	60 to 70 km/h		
	Carriageway Width (m)	Sealed Width (m)	Carriageway Width (m)	Sealed Width (m)
0 to 150 AADT / VPD***		- 1.1		
RAVs Categories 2-4	7.6	3.3	7.9	3.4
RAVs Categories 5-7	7.7	3.4	8.0	3.5
RAVs Categories 8-10	8.2	3.8	8.6	3.9
150 to 500 AADT / VPD				
RAVs Categories 2-4	7.6	5.6	7.9	5.9
RAVs Categories 5-7	7.7	5.7	8.0	6.0
RAVs Categories 8-10	8.2	6.1	8.6	6.4
500 to 1 000 AADT				
RAVs Categories 2-4	7.9	6.1	8.2	6.4
RAVs Categories 5-7	8.0	6.2	8.3	6.5
RAVs Categories 8-10	8.6	6.6	9.0	6.9
More than 1 000 AADT				
RAVs Categories 2-4	9.6	6.8	9.9	7.1
RAVs Categories 5-7	9.7	6.9	10.0	7.2
RAVs Categories 8-10	10.6	7.6	11.0	8.0

Figure 3: Appendix A of the MRWA RAV Assessment Guideline – Extract

The comparison is shown below in **Table 1** and is based on recently provided survey or site measurements.



**Table 1: Rural Road Minimum Width** 

		AADT				=		F	<b>.</b>
Location	Existing No CBH	Existing With CBH (Receival Volume)	With Storage Upgrade	Speed (RAV)	RAV Status	Existing Sealed Width	Required Minimum Seal (m)	Existing Carriageway Width (m)	Required Minimum Carriageway
North of Site access	120	380	276	60		6m-10.0 m	5.7 m	8.5-15m	7.7m
South of Proposed Site Exit	120	148	148	90	RAV 7	5.7m-6.0m	3.4m	8.5-10m	8.0m
Between Access & Proposed Site Exit – Horizontal Curve/Bend	120	148	212	90	(conditions)	5.9m	6m	8m	8.0m

Based on the proposed daily traffic volume, the existing sealed and carriageway width of Corrigin South Road complies with the minimum widths required as per the MRWA RAV Assessment Guideline with the exception of the existing seal through the horizontal curve/bend on Corrigin South Road.

Options for consideration regarding the seal width of Corrigin South Road are as follows:

- Relocate the existing 60/90km/hr speed zone further south to ensure the speed through the bend is 60km/hr. As per Appendix A of the MRWA RAV Assessment Guideline the minimum seal width required at 60km/hr is 5.7m which is less than the existing 5.9m sealed width.
- Widen the existing seal width through the curve.

Alternatively, the narrower seal width could be considered acceptable due to the following:

- The crash history of the adjacent road network does not suggest any particular safety issues (there have been no crashes recorded) on the existing road network. As there are no additional traffic movements generated by the additional storage, and ultimately a reduction in peak harvest volumes due to reduction in HEMs, it is considered that the expansion would have a positive effect on road safety.
- The CBH required RAV movements through the curve will all be in the north direction only to either
  access the site from the south into the north access or be exiting the site from the proposed exit and
  returning to the north. Therefore, there will be no requirement for an opposing CBH southbound RAV
  movement.
- The roads are currently on the required RAV 7 network.
- The 120 vehicles per day of existing public traffic (provided previously by the Shire as an assumption) is considered a worst-case scenario, and considered overly conservative, as the advised daily volume is assumed to represent traffic conditions outside of harvest operation when there are no trucks delivering materials to the CBH site (i.e., it does not include any CBH traffic).
- Carriageway width complies which allows clearance for opposing vehicles by utilising the shoulder.



#### 2.3. Access Configuration

#### 2.3.1. Auxiliary Lanes (Slip Lanes)

The Shire has commented that acceleration lanes or slip lanes will be required for safety, meeting the same standard as many large CBH sites across the state.

It is noted that slip lane warrant assessments (auxiliary lane assessments) are undertaken for each site and are dependent on road speed, heavy vehicle percentage, through traffic volumes and turning volumes. Therefore, depending on the traffic conditions for each site, some sites require auxiliary lanes whereas others don't.

The requirement for turning treatments was calculated using the Intersection Warrants calculator provided in Main Roads WA Supplement to Austroads Guide to Road Design - Part 4 A.8. It is noted that the MRWA warrants calculator is more conservative than the Austroads Guideline methods as the MRWA warrants calculator has been amended by MRWA to make additional allowances for the typically higher percentage of heavy vehicles on public roads compared to other states.

The warrants assessment undertaken within the TIS confirmed that auxiliary lanes are not required and the site access only requires a Simple Left Turn (SL) and Basic Right Turn (BAR) treatment. A BAR turn treatment features a widened shoulder on the major road to allow through vehicles, having slowed, to pass to the left of turning vehicles. In this instance, considering the access is accommodating RAV 7 trucks turning into the site (access only), and therefore reduced holding times within the major road due to removal of interactions with vehicles required to exit the site, no further widening is considered warranted.

It is also noted that the 120 vehicles per day of existing public traffic (provided previously by the Shire as an assumption) is considered a worst-case scenario, and considered overly conservative, as the advised daily volume is assumed to represent traffic conditions outside of harvest operation when there are no trucks delivering materials to the CBH site (i.e., it does not include any CBH traffic).

#### 2.3.2. Acceleration Lanes

The Shire has commented that acceleration lanes or slip lanes will be required for safety, meeting the same standard as many large CBH sites across the state.

It is noted that acceleration lane assessments are undertaken for each site and are dependent on road speed, typically loaded heavy vehicle out movement volumes, through traffic volumes and locations of other overtaking opportunities. Therefore, depending on the traffic conditions for each site, some sites require acceleration lanes whereas others don't.

As per the TIS, acceleration lanes were assessed and not considered required for this site.



A more detailed acceleration lane assessment based on the Austroads and Main Roads WA guidelines has been provided as per **Table 2**.

Table 2: Acceleration Lane Warrants - Northbound

Note	Assessment
MRWA - Provide 600m long acceleration lane (or lanes) when the AADT on the through road exceeds 600 with at least 2 road trains (36.5m long) per hour on the terminating leg.	The AADT on the through road (Corrigin South Road) does not exceed 600 (Shire assumed 120) and the average number of road trains on the terminating leg is 9 (during peak harvest period).  Therefore the requirements to provide for a 600m acceleration lane have not
	been met.
Austroads - Acceleration lanes may be provided at major intersections depending on traffic analysis. However, they are usually provided only where:	The Shire assumed through traffic is 120 vehicles per day (both directions combined).
Insufficient gaps exist for vehicles to enter a traffic stream.	Assuming a 20% peak hour distribution this equates to 12 vehicles per hour in each direction (one every 5 minutes).
	Therefore, it is considered that there are sufficient gaps for trucks to enter a traffic stream.
Austroads continued: 2. Turning volumes are high (e.g. > 300 vph).	Turning volumes at the intersection during the peak hour is expected to be <300 vph.
1 1 1 1 1 1 1 1 1	·
<ul> <li>Austroads continued:</li> <li>The observation angle falls below the requirements of the minimum gap sight distance model (for example, inside of horizontal curves).</li> </ul>	The exit has good sight distances and observation angle.
Austroads continued: 4. Heavy vehicles pulling into the traffic stream would	The Shire assumed through traffic is 120 vehicles per day (both directions combined).
cause excessive slowing of major road vehicles.	Assuming a 20% peak hour distribution this equates to 12 vehicles per hour in each direction (one every 5 minutes), which is considered frequently having gaps for RAV 7 trucks turning out of intersection.
	Trucks departing from the intersection have good sight distance towards both direction and therefore be able to pull into through traffic without causing excessive slowing.
Other - 1	The Brookton Hwy intersection is approximately 900m north of the proposed exit which would make any acceleration lane redundant.
Other - 2	During the harvest period, the majority of RAV vehicles turning out from the site access will be unloaded and therefore can accelerate quicker to less likely frustrate vehicles behind them.
Other - 3	The vast majority of truck movements (>90%) leaving the site will be northbound. In the northbound direction, the speed limit soon reduces from 110km/h to 60km/hr, which would make any acceleration lane redundant.
Other - 4	There is only 1 heavy vehicle (empty) turning south from the exit.

Based on the above assessment an acceleration lane is not considered to be warranted by the proposed traffic.



### 2.4. Minimum Sight Distances

#### 2.4.1. Available Sight Distances

The Shire has raised concerns that the TIS is based on desktop assessment only and no site inspection was conducted. The Shire suggests that actual situation looks more dangerous than can be determined from desktop assessment.

It is noted that as part of preparation of a previous traffic impact assessment a site visit and sight distance assessment was undertaken which was used to inform the TIS. The photos from the site visit from the proposed exit location is shown in **Figure 4** and **Figure 5**.



Figure 4: Proposed Exit Location - Looking North



Figure 5: Proposed Exit Location - Looking South



The sightline towards the north of the proposed exit relies on the gaps between the trees and the sightline is crossing private farmland as shown below in **Figure 6**.



Figure 6: Sightline at Proposed Exit - Looking North

The sightline towards the south of the proposed exit can observe the horizontal curve/bend on Corrigin Road South as per **Figure 5**.





Figure 7: Proposed Exit Location - Looking South

Therefore, the achieved line-of-sight photos at the proposed exit are shown in Figure 8 and Figure 9.





Figure 8: Sight distance check - New Site Exit - South





Figure 9: Sight distance check - New Site Exit - North



It is also noted that previously a site meeting was held between CBH and the Shire of Corrigin. CBH advised that the Shire and CBH determined that the sight visibility is significantly better than the previous traffic assessment suggested. CBH also provided video footage which shows that oncoming vehicles are only partially obscured by the trees. Further, the Shire has requested that the low shrubs in the verge be cleared and this will reduce the sight line obstruction.

If the vegetation becomes overgrown, this may impact sight distance. CBH have advised that if this occur, they will work collaboratively with the Shire to ensure appropriate sight lines are maintained at all times.

In summary, the available sight distance, which as above was previously considered acceptable by the Shire, at the proposed site exit is as follows:

- 320m for southbound traffic (north direction)
- 380m for northbound traffic (south direction)



#### 2.4.2. Safe Intersection Sight Distance (SISD)

The Safe Intersection Sight Distance (SISD) is the desirable minimum distance which should be provided on the major road at any intersection.

It is noted that this criterion is not typically always applied for driveways however, has been adopted in this instance (refer **Section 2.4.3** for further commentary).

The SISD calculation is an industry standard that has been adopted by MRWA.

SISD provides sufficient distance for a driver of a vehicle on the major road to observe a vehicle on a minor road approach moving into a collision situation (e.g., in the worst case, stalling across the traffic lanes) and to decelerate to a stop before reaching the collision point.

The SISD is assessed based on the following parameters:

- **Observation Time:** An observation time of 3 seconds has been adopted as per Austroads Part 4. This allows a driver on the major road 3 seconds to observe a vehicle at the intersection and detect a problem ahead (e.g. car from minor road stalling in through lane).
- Reaction Time: A reaction time of 2.5 seconds has been adopted. Reaction time is the time for a driver
  to perceive and react to a particular stimulus and take appropriate action, after the observation time. This
  time depends on:
  - o alertness of the driver
  - recognition of the hazard
  - o the complexity of the decision or task involved

As per Austroads Part 3 Table 5.2, a 2 second reaction time could be considered suitable as the 2 second reaction time is acceptable for areas of alerted driving situations in rural areas with few intersections. However, the 2.5 second reaction time has been adopted which is more consistent with major intersections on high speed rural roads.

- Decision Time: Decision Time is the observation time (3 second) plus the reaction time (2.5 seconds).
   Therefore, a driver will have 5.5 seconds to observe a vehicle at the CBH site exit, detect a problem before they start breaking.
- Deceleration Coefficients: Longitudinal deceleration is the measure of the longitudinal friction between
  the vehicle tyres and the road surface once the vehicle starts breaking. It depends on factors such as
  the speed of the vehicle, the tyre condition and pressure, the type of road surface and its condition,
  including whether it is wet or dry.
  - For the purpose of SISD calculations, deceleration coefficient of 0.36 for light vehicles has been adopted which allows for the 90th percentile value for braking on wet, sealed roads and is the



- maximum value allowed for deceleration lanes at intersections
- For the purpose of SISD calculations, deceleration coefficient of 0.28 for heavy vehicles (Road Train Type 1 / RAV 7 equivalent) have been adopted as this represents the braking of a Type 1 road train (the largest design vehicle along this road) on a dry sealed road. Allowing for a lower deceleration coefficient for trucks on wet roads is not industry standard and is not typically allowed for from MRWA as it is generally accepted/assumed that trucks will be travelling slower when roads are wet. It is also noted that the peak harvest period is generally undertaken over the summer/dry months.
- **Design Speed:** Previously, the TIS assumed that the trucks were travelling at the posted speed limit (90km/hr). For conservatism, it has now been assumed that both trucks and light vehicles are travelling 10km/hr over the legal posted speed limit e/g 100km/hr.

#### Other Parameters:

- O Driver eye height is 2.4m for trucks and 1.1m for cars;
- Object height of 1.25m; and
- Sight distance offset 3-5m from edge of proposed holding line.

SISD has been assessed in accordance with Austroads Guide to Road Design Part 4A Equation 2 and the results are summarised in **Table 3**.

**Table 3: SISD Calculations** 

Location	Vehicle Type	Design Speed (km/h) (NB / SB)	Coefficient of Deceleration	Decision Time (s)	Longitudinal Grade (NB / SB)*	Required SISD for NB / SB Traffic (m)	SI	lable SD n) SB
Site Exit	Trucks	100 / 100	0.28	3.0+2.5	2.5% / 2.5%	282 / 282	380	320
Sile Exil	Cars	100 / 100	0.36	3.0+2.5	2.5% / 2.5%	255 / 255	380	320

<sup>\*</sup>Positive for through traffic travelling uphill and negative for through traffic travelling downhill. Grades are conservative estimates based on google earth and site visit photo/video footage.

As shown, the SISD is sufficient to achieve the minimum requirement in accordance with the Austroads Guide to Road Design Part 4A.



#### 2.4.3. Stopping Sight Distance (SSD)

As discussed previously in **Section 2.4.2**, it is noted that the SISD minimum sight distances are not typically always applied for driveways.

As per Section 4.4.4 of the MRWA Driveway Guidelines, <u>desirably</u> the sight distance provided should be the Safe Intersection Sight Distance (SISD) in accordance with Main Roads Supplement to Austroads GRD Part 4A. However, where this is not possible, sight distance equal to Stopping Sight Distance (SSD) for the design speed of the road shall be provided as an absolute minimum for driveways.

The SSD is the same as the SISD calculation and parameters (as per **Section 2.4.2**) however does not require the 3 second observation time.

SSD has been assessed in accordance with Austroads Guide to Road Design Part 4A Equation 2 and the results are summarised in

The minimum SSD for the driveway/exist has been calculated as per **Table 4**.

**Table 4: SSD Calculations** 

Location	Vehicle Type	Design Speed (km/h) (NB / SB)	Coefficient of Deceleration	Reaction Time (s)	Longitudinal Grade (NB / SB)*	Required SISD for NB / SB Traffic (m)	SI	lable SD n) SB
Cita Evit	Trucks	100 / 100	0.28	2.5	2.5% / 2.5%	199 / 199	380	320
Site Exit	Cars	100 / 100	0.36	2.5	2.5% / 2.5%	172 / 172	380	320

<sup>\*</sup>Positive for through traffic travelling uphill and negative for through traffic travelling downhill. Grades are conservative estimates based on google earth and site visit photo/video footage.

As shown, the SSD is sufficient to achieve the absolute minimum requirement in accordance with MRWA Driveway Guidelines.



#### 2.4.4. Entering Sight Distance (ESD)

The Entering Sight Distance (ESD) is a sight distance assessment as per the MRWA RAV Guideline document. The ESD is the minimum distance for driver of a RAV, entering a through road, having appropriate sight distance to see a sufficient gap in oncoming traffic that will allow a RAV, with greater length and lower acceleration capacity, to clear the intersection safely.

As per the MRWA RAV Guideline, the ESD is assessed based on the following parameters:

- A reaction time of 4 seconds, and
- Deceleration coefficients of 0.28;

As per Appendix D of the MRWA RAV Guideline, assuming a conservative 100km/hr RAV speed and a flat grade (actual grades are 2.5% uphill), the minimum ESD is 252m (see **Figure 10** for extract). Based on a 2.5% upgrade, the minimum would be 240m.

ppendix D:	Requir	ed Sigh	t Distar	ices					
Posted		Dow	nhill		Level		Up	hill	
Speed km/h	-8%	-6%	-4%	-2%		2%	4%	6%	8%
40	74	72	70	68	66	65	64	62	61
50	102	98	95	92	89	87	85	84	82
60	134	128	123	119	116	112	110	107	105
70	170	162	155	149	144	140	136	133	130
80	209	198	190	182	176	170	165	161	157
90	252	239	228	218	210	203	197	191	186
100	308	290	275	263	252	242	234	227	220

The above values have been derived using the formula given in Austroads Guidelines with following factors:

Reaction Time	4.0 s
(Deceleration rate of 0.29g up to 9	90 km/h 0 28g at 100 km/h )

Figure 10: Appendix D of the MRWA RAV Assessment Guideline – Extract

As shown, minimum ESD has been achieved.



#### 2.4.5. Sight Distance Summary

In summary, the calculated minimum sight distance requirements are as follows:;

- Minimum Safe Intersection Sight Distance (SISD)= 282m for trucks and 255m for light vehicles
- Absolute Minimum Stopping Sight Distance (SSD) = 199m for trucks and 172m for light vehicles
- Entering Sight Distance (ESD) = 250m for flat grade / 240m for 2.5% upgrade.

In summary, the available sight distance at the proposed site exit is as follows:

- 320m for southbound traffic (north direction)
- 380m for northbound traffic (south direction)

Therefore it is considered that the sight distance as the proposed exit is adequate.

As discussed previously, it is noted that the north sight distances (southbound) of the proposed exit relies on the gaps between the trees. It is noted that previously a site meeting was held between CBH and the Shire of Corrigin. The Shire and CBH determined that the sight visibility is significantly better than the previous traffic assessment suggested. CBH also provided video footage which shows that oncoming vehicles are only partially obscured by the trees. Further, the Shire requested that the low shrubs in the verge be cleared and this will reduce the sight line obstruction. If the vegetation becomes overgrown, this may impact sight distance. CBH have advised that if this occur, they will work collaboratively with the Shire to ensure appropriate sight lines are maintained at all times.

It is noted that the Shire has commented that minimum sight distance for assessing an access on a road for a RAV route is 400m. It is currently unknown where/how this requirement has been obtained, and it is not consistent with MRWA's published guidelines. It is considered that any minimum requirement for sight distance above the minimum SISD would be greater than industry practice/standard.



# **Environmental Memo**

Corrigin Grain Receival Site

26 July 2023

# 1 Introduction

Co-operative Bulk Handling Limited (**CBH**) is planning an upgrade to its Grain Receival Site at Corrigin (the **Project**) as part of ongoing upgrades to its grain storage facilities throughout the Wheatbelt region of Western Australia (WA). The Project is located less than 2 km southwest of the Corrigin townsite and approximately 225 km southeast of Perth (Figure 1). The Project is primarily located on Lot 21 and parts of the western and eastern extent of Lot 20 on Deposited Plan 41206 in Corrigin, WA.

The Project is an expansion to the existing Corrigin Grain Receival Site to provide additional grain receival and storage facilities. The project proposes to build two new permanent 350 metre (m) long Open Bulk Heads (OBHs) to increase the site's permanent storage capacity. The new OBHs will be serviced by a fixed grid and conveyor loading system with two stackers/trippers, capable of in-loading at a rate of more than 500 tonnes per hour (tph). In addition, each OBH will be serviced by 'drive over grid' stackers, to provide additional in-loading capacity and segregations.

CBH has contracted a number of biological surveys of the project area to support its project design investigations and statutory approval applications. The biological surveys have been conducted by Eco Logical Australia (ELA) Pty Ltd. This report has been prepared to summarise the results of the ecological surveys and the environmental approvals required to support a Development Application to the Shire of Corrigin.



Figure 1: Project Location

# 2 Ecological Surveys

## 2.1 Background

Eco Logical Australia (**ELA**) were retained to conduct a Reconnaissance level flora and vegetation survey, a Basic fauna survey and a Targeted black cockatoo habitat assessment of the CBH Corrigin Grain Receival Site (the survey area) totalling approximately 24 ha (Figure 1) on 22 October 2020.

A further targeted survey was undertaken by ELA from 28 June to 1 July 2022 for Red-tailed Phascogale after the reconnaissance flora and vegetation survey identified fauna habitat which could be potentially suitable for the Red-tailed Phascogale.

While an initial targeted black-cockatoo assessment was completed by ELA in October 2020, a further assessment of the potential breeding trees was undertaken by ELA in July 2022.

The biological survey work was supplemented by Commonwealth and State database searches.

## 2.2 Vegetation and flora

A reconnaissance field survey of the development footprint was conducted in October 2020 following the Environmental Protection Authority (EPA) *Technical Guidance: Flora and Vegetation Surveys for Environmental Impact Assessment* (EPA 2016). The survey consisted of a database search of both Commonwealth and State databases searching for existing data and information relating to conservation significant flora and ecological communities to inform the field survey.

#### 2.2.1 Flora

A total of 67 flora species, representing 31 families and 60 genera were recorded from a combination of 11 relevés and opportunistic collections. Families with the highest number of species recorded were *Poaceae* (16 species), *Chenopodiaceae* (five species) and *Asteraceae* (five species). Eucalyptus was the best represented genus with three species, while the genera Acacia, *Austrostipa*, *Bromus*, *Hibbertia* and *Ptilotus* each had two species recorded. A high proportion (33%) of the flora taxa recorded during the field survey were introduced (weed) species.

A total of 22 introduced (weed) flora species were recorded in the survey area. None of these species is a listed Weed of National Significance (WONS). One species, *Echium plantagineum* (Paterson's curse), is listed as a Declared Pest (s22(2)) under the BAM Act (Western Australian Organism List [WAOL]); this was recorded at seven locations. The remaining 21 species are listed on the WAOL database as s11 (permitted) species, indicating that no specific management of these species is required.

#### 2.2.1 Conservation significant flora

No Threatened or Priority flora species listed under the EPBC Act or the BC Act or listed by DBCA were recorded within the survey area.

Three vegetation communities delineated within the survey area are composed of eucalypt woodlands that have the potential to represent floristic and structural aspects of the Wheatbelt Woodlands TEC, as indicated in the Department of the Environment and Energy (DotEE) Approved Conservation Advice (including listing advice) for the Eucalypt Woodlands of the Western Australian Wheatbelt (Approved Conservation Advice; DotEE 2015). This TEC is also categorised as a Priority 3 PEC by DBCA.

An assessment has been undertaken utilising key diagnostic characteristics of the Wheatbelt Woodlands TEC (DoE 2015). This key diagnostic assessment concluded that 0.76 ha of vegetation (parts of vegetation communities EIW, EsEIW and EwW) delineated within the survey area is characterised as representing the Wheatbelt Woodlands TEC (and subsequently, the associated State listed PEC).



Figure 2: Survey Area

#### 2.2.2 Vegetation types

A total of four vegetation communities, comprising three eucalypt woodland communities (EIW, EsEIW and EwW) and one Acacia shrubland (AcTS) community, were delineated and mapped within the survey area (Table 1). The most widespread community was *Eucalyptus loxophleba* woodland (EIW), which covered 9.2% (2.2 ha) of the survey area. Cleared areas, including roads, tracks and pasture, covered the majority (86.0%; 20.7 ha) of the survey area.

Table 1: Vegetation types within the development envelope

Vegetation Community Code	Description	Total Area (ha)	Proportion of the Survey Area (%)
AcTS	Acacia acuminata tall open shrubland, over *Arctotheca calendula, *Mesembryanthemum nodiflorum and Ptilotus polystachyus sparse low forbland with scattered Austrostipa variabilis grasses and annual weedy forbs and grasses.	0.2	0.8
EIW	Eucalyptus loxophleba woodland, over Acacia acuminata tall sparse shrubland, over a mixed low sparse forbland/grassland including *Arctotheca calendula, Atriplex semibaccata, *Brassica tournefortii, *Hordeum leporinum, *Lolium rigidum and Maireana brevifolia	2.2	9.2
EsEIW	Eucalyptus salmonophloia and E. loxophleba Woodland over Maireana brevifolia low sparse shrubland over annual weedy grasses and forbs, including *Brassica tournefortii, Crassula colorata, Enchylaena tomentosa, *Hordeum leporinum, *Lolium rigidum and *Mesembryanthemum nodiflorum	0.5	2.0
EwW	Eucalyptus wandoo and <i>E. loxophleba</i> Woodland over a variable mid sparse shrubland of <i>Gastrolobium spinosum</i> , <i>Acacia lasiocarpa</i> , Hibbertia rupicola and Dianella revoluta over <i>Austrostipa elegantissima</i> and <i>A. variabilis</i> sparse grassland (1-2%, 0.5-1m). Other commonly occurring species include <i>Allocasuarina campestris</i> , <i>Enchylaena tomentosa</i> , <i>Glischrocaryon angustifolium</i> , <i>Lepidosperma resinosum</i> , <i>Opercularia vaginata</i> and <i>Rytidosperma caespitosum</i> .	0.5	2.0
Cleared (roads	, tracks, pasture)	20.7	86.1
Total		24.0	100

#### 2.2.3 Vegetation condition

Vegetation within the survey area ranged from Completely Degraded to Very Good condition, based on the Keighery (1994) vegetation condition scale provided in EPA (2016) (Figure 3). The majority of the survey area was classed as Completely Degraded (20.7 ha, 86.0%). The remaining categories include Degraded (3.0 ha, 10.8%), Good (0.3 ha, 1.3%) and Very Good (0.1 ha, <0.1%). The vegetation classed as Very Good and Good condition comprised roadside vegetation along the eastern boundary of the survey area.



Figure 3: Vegetation condition

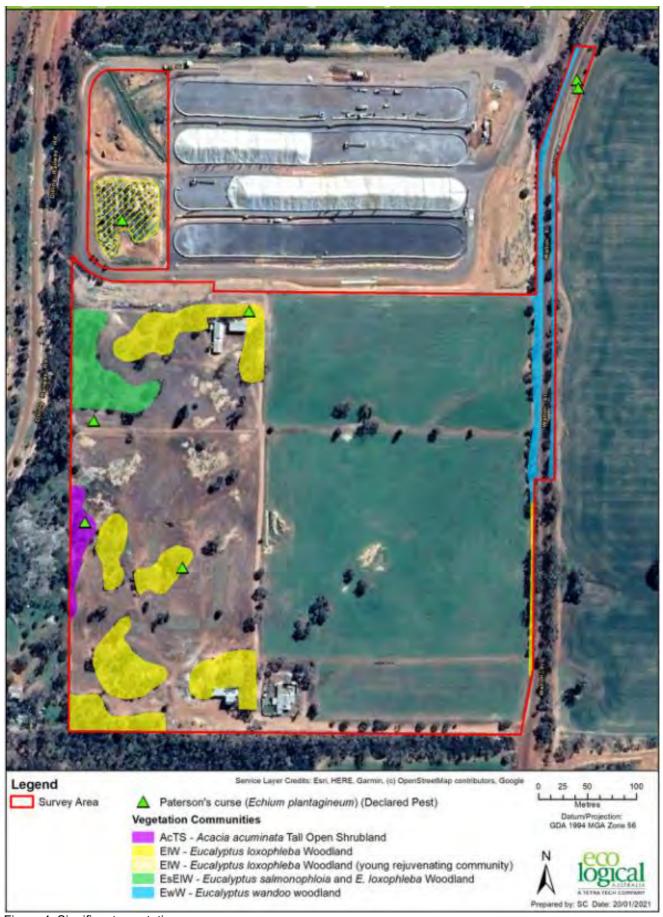


Figure 4: Significant vegetation

#### 2.3 Fauna

A total of 23 vertebrate fauna species were recorded as occurring within the survey area, comprising 19 birds, three mammals and one reptile. No direct (observations) evidence of Threatened or Priority fauna species listed under the EPBC Act or the BC Act or listed by DBCA were recorded within the survey area; however, old evidence of foraging by Carnaby's cockatoos (shearing of branches) was recorded.

Of the 12 conservation significant fauna species (eight birds, four mammals) identified from the desktop assessment as possibly occurring within the survey area, two species were identified post survey as having the potential to occur based on the availability of suitable habitat and close proximity of recent records. Following the field survey, Carnaby's Cockatoo (*Calyptorhynchus latirostris*; listed as Endangered under the EPBC Act and BC Act) was listed as recorded in the survey area, while the Redtailed Phascogale remained as potential to occur.

The remaining ten conservation significant fauna species are considered as unlikely to occur or do not occur within the survey area, based on lack of suitable habitat for these species and proximity of previous records. Two introduced (pest) fauna species were recorded within the survey area, namely Sheep (*Ovis aries*; observed) and Red Fox (*Vulpes vulpes*).

Table 2: Recorded Fauna Species

Species	Common name	Observation type
Birds		
Anthochaera carunculata	Red Wattlebird	Observed/heard
Barnardius zonarius	Australian Ringneck	Observed/heard
Cacatua sanguinea	Little Corella	Observed/heard
Calamanthus campestris	Rufous Fieldwren	Observed/heard
Calyptorhynchus latirostris	Carnaby's Cockatoo	Sheared branches
Corvus bennetti	Little Crow	Observed/heard
Corvus coronoides	Australian Raven	Observed/heard
Cracticus nigrogularis	Pied Butcherbird	Observed/heard
Cracticus tibicen	Australian Magpie	Observed/heard
Eolophus roseicapilla	Galah	Observed/heard
Grallina cyanoleuca	Magpie-lark	Observed/heard
Manorina flavigula	Yellow-throated Miner	Observed/heard
Motacilla alba	White Wagtail	Observed/heard
Ocyphaps lophotes	Crested Pigeon	Observed/heard
Rhipidura leucophrys	Willie Wagtail	Observed/heard
Smicrornis brevirostris	Weebill	Observed/heard
Spilopelia senegalensis	Laughing Dove	Observed/heard
Taeniopygia guttata	Zebra Finch	Observed/heard
Zosterops lateralis	Silvereye	Observed/heard
Mammals		
Osphranter robustus	Common wallaroo (Euro)	Scats
Ovis aries	Sheep	Observed
Vulpes vulpes	Red Fox	Diggings
Reptiles		
Tiliqua rugosa	Blue-tongued Skink	Observed

#### 2.3.1 Conservation listed species

#### 2.3.1.1 Black cockatoo assessment

#### **Breeding and roosting assessment**

The black cockatoo breeding habitat assessment undertaken as part of the October 2020 survey identified 20 potentially suitable breeding trees within the survey area. A further detailed survey utilising camera poles and photography of the trees and hollows was conducted during a detailed survey from 28 June 2022 to 1 July 2022. The black cockatoo habitat trees were assessed according to the criteria outlined in Commonwealth guidelines (Commonwealth of Australia 2017; DSEWPaC 2012), with additional information recorded using the Bamford (pers. comm 2016) grading classifications to identify the potential suitability of trees to be used for nesting based on the presence of, size and orientation of hollows.

Of the two potential hollows observed within and in the vicinity of the survey area in October 2020 (ELA 2021); one was in a tree that is no longer standing, and one did not have any evidence of Carnaby's Cockatoo breeding after further inspection using a pole-mounted camera. There are also no known roosts or nests within the vicinity of the survey area (Birdlife 2022, DBCA 2022).

Other considerations for roosting and breeding include proximity to an important water source and ecological linkages. The survey area is not in the vicinity of any natural water sources, only small farm dams which may be unreliable (DWER 2018; DPIRD 2022). Whilst the survey area is linked to Corrigin Nature Reserve in the south/south-west, no further ecological linkages occur in the wider vicinity (DBCA 2021).

#### Foraging assessment

No foraging evidence was observed in the survey area during the field survey. The survey area lacks the species' favoured food sources; particularly the flowers, seeds and nectar of proteaceous plants (e.g., Banksia, Hakea, Dryandra and Grevillea species), marri and Callistemon spp. (DoEE 2017, SEWPaC 2012).

Overall, the remnant vegetation that was mapped within the survey area is considered as 'Poor' quality foraging habitat using the SEWPaC guidelines (SEWPaC 2012) based upon lack of density and availability of preferred foraging species.

#### 2.3.1.2 Red-tailed Phascogale

A targeted Red-tailed Phascogale survey was undertaken between 28 June 2022 and 1 July 2022 based upon the presence of potential habitat identified during the October 2020 basic fauna assessment. The targeted survey was undertaken in accordance with Commonwealth and State guidelines for terrestrial vertebrate fauna surveys utilising Elliot traps (aluminium boxes) and motion cameras. In addition, searches for potential nest sites in hollow-bearing trees and hollow logs along with searches for signs of activities by the Red-tailed Phascogale were also undertaken.

No Red-tailed Phascogales were trapped over the duration of the field survey and no potential nest sites or signs of activity were recorded. The motion cameras only captured three non-target species during the survey; Australian Magpie (*Gymnorhina tibicen*), Western Grey Kangaroo (*Macropus fuliginosus melanops*) and Red Fox (\**Vulpes vulpes*).

Majority of the Wandoo (Eucalyptus wandoo) and York Gum (*E. loxophleba*) Open Woodland in the survey area was assessed to be unsuitable habitat for Red-tailed Phascogales, as the Wandoo and York Gums is highly fragmented with a lack of connectivity between patches and is degraded with weedy understorey. The interconnection of canopy is an important factor in Red-tailed Phascogale persistence (Short and Hide 2012) and was generally lacking within the habitats present within the survey area.

# 3 Environmental approvals

The following environmental approvals have been determined to be required or considered for the Project.

- Native Vegetation Clearing Permit, Part V, Division 2 Environmental Protection Act 1986 (WA)
   (EP Act)
- Referral under s68(2) of the Environment Protection and Biodiversity Conservation Act 1999
   (Cth) (EPBC Act)

#### 3.1 EPBC Act

Under section 67A of the EPBC Act, it is an offence to take an action unless an approval of the taking of the action is in operation. A controlled action is a proposed activity that will have a significant impact on matters of national environmental significance. Under section 18, a person must not take an action that will have or is likely to have a significant impact on a listed threatened species or threatened ecological communities.

The Project was referred to the Department of Agriculture, Water and the Environment (DAWE) (now the Department of Climate Change, Energy, the Environment and Water [**DCCEW**]) under the EPBC Act on 11 August 2021. The Project as determined a controlled action on 21 September 2021 and CBH was notified that the assessment pathway was by Preliminary Documentation on 6 October 2021. It is anticipated that final approval will be received by August 2024.

#### 3.2 EP Act

The EP Act makes it an offence to clear native vegetation unless it is done in accordance with requirements laid out in section 51C. The Project will result in the proposed clearing of 1.49 ha of native vegetation.

A review of Schedule 6 of the EP Act and the Environmental Protection Regulations was undertaken to determine if any could be applied to the proposed development. Based upon this assessment, CBH will not be applying for a clearing permit as the clearing will be conducted in accordance with Regulation 5 Item 1 (Clearing to construct a building). This allows for clearing of up to 5 ha on the property for the purposes of constructing a roofed building or other roofed structure.

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Your reference: CBH Corrigin Our reference: LUP 1878 Enquiries: Grant Stainer

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Date: 30 May 2024

Dear Ms Manton.

Request for comment – Development Application – CBH Corrigin – Lots 20, 21, & 500 (No. 70) Corrigin South Road, Corrigin – Additions and alterations to existing grain handling and storage facility

Thank you for inviting the Department of Primary Industries and Regional Development (DPIRD) to comment on the above proposal.

DPIRD does not object to the proposal and offers the following comments.

This proposal will enable CBH modernise and improve its infrastructure, which in turn will enable it to better support the grains industry in the Corrigin area.

DPIRD notes the proposed clearing of native vegetation, and requests CBH contact the Department of Water and Environmental Regulation (DWER) to obtain the relevant permits.

For future reference, please send referrals on land use planning matters to <a href="mailto:landuse.planning@dpird.wa.gov.au">landuse.planning@dpird.wa.gov.au</a> to ensure that we receive them and can attend to them in a timely manner.

For more information, please contact Grant Stainer on 90813 113 or grantley.stainer@dpird.wa.gov.au

Yours sincerely,

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Tim Overheu

Acting Director, Agriculture Resource Management Assessment Sustainability and Biosecurity

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Your ref:

Our ref: RF1148, PA 064569

Enquiries: Diana Nussey, Ph 6250 8014
Email: diana.nussey@dwer.wa.gov.au

Natalie Manton Chief Executive Officer Shire of Corrigin PO Box 221 CORRIGIN WA 6375

Via email – ceo@corrigin.wa.gov.au

Dear Natalie,

# RE: Request for Comment - Development Application - Proposed Alterations to CBH Grain Handling and Storage Facility

Thank you for providing the above referral for the Department of Water and Environmental Regulation (Department) to consider. The Department has identified that the proposed development has the potential to impact on environment values and management. Key issues and recommendations that should be addressed are provided below:

Under section 51C of the *Environmental Protection Act 1986* (EP Act), clearing of native vegetation is an offence unless:

- it is undertaken under the authority of a clearing permit
- it is done after the person has received notice under Section 51DA(5) that a clearing permit is not required
- the clearing is subject to an exemption in accordance with Schedule 6 of the EP Act or the Environmental Protection (Clearing of Native Vegetation) Regulations 2004.

Exemptions for clearing that are a requirement of written law, or authorised under certain statutory processes, are contained in Schedule 6 of the EP Act. Exemptions for low impact routine land management practices outside of environmentally sensitive areas (ESAs) are contained in the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004* (the Clearing Regulations).

Based on the information provided, should development approval be issued, the proposal is likely to be exempt from the requirement for a clearing permit under Regulation 5, Item 1 (clearing for a building/structure) of the Clearing Regulations. Under this item, it should be noted that:

- This exemption does not apply prior to development approval being issued.
- Clearing for a building/structure, combined with other exempt clearing activities on the property, must not exceed five hectares (5 ha) in a financial year.

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If the clearing of native vegetation does exceed the 5 ha limit, a clearing permit is required.

The exemptions are described in the Department's 'A Guide to the Exemptions and Regulations for Clearing Native Vegetation'. It is the applicant's responsibility to determine compliance with these exemptions and therefore whether a clearing permit is required. If there is uncertainty, then the precautionary principle should be applied, and it is recommended applicants apply for a clearing permit.

In the event there are modifications to the proposal that may have implications on aspects of environment and/or water management, the Department should be notified to enable the implications to be assessed.

If you would like more information regarding this matter, please contact Diana Nussey on 6250 8014 or <a href="mailto:diana.nussey@dwer.wa.gov.au">diana.nussey@dwer.wa.gov.au</a>.

Yours sincerely,

**Diana Nussey** 

A/Senior Natural Resource Management Officer Planning Advice

Swan Avon Region

20 June 2024

Cc: Jarrad Filinski, eso @corrigin.wa.gov.au & Joe Douglas, joe @urp.com.au